



INQ/6A

NETWORK RAIL INFRASTRUCTURE LIMITED

NETWORK RAIL (HUDDERSFIELD TO WESTTOWN (DEWSBURY)IMPROVEMENTS) ORDER

NETWORK RAIL INQUIRY DOCUMENT

Consolidated amendments to Network Rail's proposed conditions for the Listed Building Consent Applications (NR17 to NR25) – Amendments Shown as Tracked Changes (To be read in conjunction with INQ/7 and Statement of Common Ground NR/SOCG/1)

1. Purpose of Document

- 1.1 Attached at the Appendix to this document are the further amendments proposed by Network Rail to the conditions that were originally proposed by Network Rail to be attached to Network Rail's applications for Listed Building Consent (**NR17 to NR25**).
- 1.2 These further amendments are intended to replace the consolidated amendments that were submitted by Network Rail to the Inquiry as Inquiry Document **INQ-6**.
- 1.3 Network Rail have discussed and agreed the proposed amendments detailed at the Appendix to this document with Kirklees Council.
- 1.4 The following amendments are proposed in response to comments raised by the Inspectors during the Inquiry conditions session held on 30 November 2021:
 - 1.4.1 Drawing revision numbers added.
 - 1.4.2 Historic structures recoding. Amendments to ensure consistency in the form of condition to be attached to each Listed Building Consent.
 - 1.4.3 Conservation Implementation Management Plan. Amendments to ensure consistency in the form of condition to be attached to each Listed Building Consent.



INQ/6A

- 1.4.4 Huddersfield Station (NR17).
- 1.4.5 Huddersfield Station (NR17). Platform furniture. Matters to be agreed with the local planning authority to include station signage.
- 1.4.6 Huddersfield Station (NR17). CIMP. The specific methodologies to be agreed to include the exact affixing details of overhead line electrification.
- 1.4.7 Wheatley's (Colliery Lane) Bridge (NR19). The inclusion of a new condition requiring approval of samples and specifications of external materials.
- 1.4.8 Colne Bridge Road Bridge (NR20). The inclusion of a new condition requiring approval of samples and specifications of external materials.



INQ/6A

Appendix

Consolidated amendments to Network Rail's proposed conditions for the Listed Building Consent Applications (NR17 to NR25) – Amendments Shown as Tracked Changes

Listed Building Consent Application – Huddersfield Station (NR17)

Schedule of proposed conditions for LBC application PP-09487231 (Huddersfield Station Works) in association with the Network Rail (Huddersfield to Westtown (Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

Huddersfield Station - General

151667-TSA-30-MVL3-DRG-T-LP-166000 [Rev P01](#) Key Plan
151667-TSA-30-MVL3-DRG-T-LP-166001 [Rev P01](#) Roof Plan
151667-TSA-30-MVL3-DRG-T-LP-166002 [Rev P01](#) Existing Platforms GA
151667-TSA-30-MVL3-DRG-T-LP-166003 [Rev P01](#) Existing Elevations
151667-TSA-30-MVL3-DRG-T-LP-166004 [Rev P01](#) Existing Sections
151667-TSA-30-MVL3-DRG-T-LP-166007 [Rev P01](#) Proposed Elevations
151667-TSA-30-MVL3-DRG-T-LP-166008 [Rev P01](#) Proposed Sections

Huddersfield Station - Retained Roof



INQ/6A

- 151667-TSA-30-MVL3-DRG-T-LP-166045 [Rev P01](#) Existing Roof A Structural Plan (Roof Level)
- 151667-TSA-30-MVL3-DRG-T-LP-166046 [Rev P01](#) Existing Roof A Structural Plan (Platform Level)
- 151667-TSA-30-MVL3-DRG-T-LP-166047 [Rev P01](#) Existing Roof A Structural Sections Sheet (1)
- 151667-TSA-30-MVL3-DRG-T-LP-166048 [Rev P01](#) Existing Roof A Structural Sections Sheet (2)
- 151667-TSA-30-MVL3-DRG-T-LP-166049 [Rev P01](#) Existing Roof A Proposed Strengthening Details
- 151667-TSA-30-MVL3-DRG-T-LP-166050 [Rev P01](#) Existing Roof A Proposed Roof Coverings Plans (1)
- 151667-TSA-30-MVL3-DRG-T-LP-166051 [Rev P01](#) Existing Roof A Proposed Roof Coverings Plans (2)
- 151667-TSA-30-MVL3-DRG-T-LP-166052 [Rev P01](#) Existing Roof A Proposed Roof Coverings Plans (3)

INQ/6A

151667-TSA-30-MVL3-DRG-T-LP-166053 [Rev P01](#) Existing Roof A Proposed Roof Coverings Details (1)

151667-TSA-30-MVL3-DRG-T-LP-166056 [Rev P01](#) Existing Roof A OLE Support Details

151667-TSA-30-MVL3-DRG-T-LP-166057 [Rev P01](#) Existing Roof A Bracing Details

Huddersfield Station - New Roof

151667-TSA-30-MVL3-DRG-T-LP-166072 [Rev P01](#) Existing Roof B and C Structural Plan (Roof Level)

151667-TSA-30-MVL3-DRG-T-LP-166073 [Rev P01](#) Existing Roof B and C Structural Plan (Platform Level)

151667-TSA-30-MVL3-DRG-T-LP-166074 [Rev P01](#) Existing Roof B and C Structural Sections

151667-TSA-30-MVL3-DRG-T-LP-166075 [Rev P01](#) Existing Roof B and C Structural Sections (2)

151667-TSA-30-MVL3-DRG-T-LP-166076 [Rev P01](#) Proposed Roof B (Shed Roof) GA

151667-TSA-30-MVL3-DRG-T-LP-166077 [Rev P01](#) Proposed Roof B (Shed Roof) Structural Plan (Roof Level)

151667-TSA-30-MVL3-DRG-T-LP-166078 [Rev P01](#) Proposed Roof B (Shed Roof) Structural Plan (Platform Level)

151667-TSA-30-MVL3-DRG-T-LP-166079 [Rev P01](#) Proposed Roof B (Shed Roof) Structural Sections

151667-TSA-30-MVL3-DRG-T-LP-166080 [Rev P01](#) Proposed Roof B (Shed Roof) Structural Sections (2)

151667-TSA-30-MVL3-DRG-T-LP-166081 [Rev P01](#) Proposed Roof B (Shed Roof) Structural Sections (3)

151667-TSA-30-MVL3-DRG-T-LP-166082 [Rev P01](#) Proposed Roof B (Shed Roof) Proposed Roof Covering Plans (1)

151667-TSA-30-MVL3-DRG-T-LP-166083 [Rev P01](#) Proposed Roof B (Shed Roof) Proposed Roof Covering Plans (2)

151667-TSA-30-MVL3-DRG-T-LP-166084 [Rev P01](#) Proposed Roof B (Shed Roof) Proposed Roof Covering Details (1)



INQ/6A

151667-TSA-30-MVL3-DRG-T-LP-166085 [Rev P01](#) Proposed Roof B (Shed Roof)
Proposed Roof Covering Details (2)

Huddersfield Station - Platforms

151667-TSA-30-MVL3-DRG-T-LP-166184 [Rev P01](#) Existing Plan

151667-TSA-30-MVL3-DRG-T-LP-166185 [Rev P01](#) Proposed Plan and Section

151667-TSA-30-MVL3-DRG-T-LP-166186 [Rev P01](#) Proposed Plan and Section

151667-TSA-30-MVL3-DRG-T-LP-166187 [Rev P01](#) Proposed Plan and Section

Huddersfield Station - Passenger Subway (MVL3/91)

151667-TSA-30-MVL3-DRG-T-LP-166145 [Rev P01](#) Existing Plan and Sections

151667-TSA-30-MVL3-DRG-T-LP-166146 [Rev P01](#) Proposed Plan and Section

151667-TSA-30-MVL3-DRG-T-LP-166151 [Rev P01](#) Finishes Plan

151667-TSA-30-MVL3-DRG-T-LP-166152 [Rev P01](#) Finishes Elevations

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INQ/6A

Huddersfield Station - Parcel Subway (MVL3/91A)

151667-TSA-30-MVL3-DRG-T-LP-166166 [Rev P01](#) Existing Plan and Sections

151667-TSA-30-MVL3-DRG-T-LP-166167 [Rev P01](#) Proposed Plan and Section

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Huddersfield Station - Tea Rooms

151667-TSA-30-MVL3-DRG-T-LP-166021 [Rev P01](#) Existing and Proposed Locations

151667-TSA-30-MVL3-DRG-T-LP-166022 [Rev P01](#) Existing floor plan and elevations

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151667-TSA-30-MVL3-DRG-T-LP-166023 [Rev P01](#) Existing and proposed roof plan

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151667-TSA-30-MVL3-DRG-T-LP-166024 [Rev P01](#) Existing section and details

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151667-TSA-30-MVL3-DRG-T-LP-166025 [Rev P01](#) Proposed floor plan and elevations

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151667-TSA-30-MVL3-DRG-T-LP-166026 [Rev P01](#) Proposed section and details

151667-TSA-30-MVL3-DRG-T-LP-166027 [Rev P01](#)

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Proposed fire interventions

151667-TSA-30-MVL3-DRG-T-LP-166028 [Rev P01](#) Proposed colour scheme

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151667-TSA-30-MVL3-DRG-T-LP-166029 [Rev P01](#) Existing and Proposed Foundations

Huddersfield Station - Platform Canopies

151667-TSA-30-MVL3-DRG-T-LP-166099 [Rev P01](#) Proposed Platform GA

151667-TSA-30-MVL3-DRG-T-LP-166100 [Rev P01](#) Proposed Platform Canopies Structural Plan (Roof Level)

151667-TSA-30-MVL3-DRG-T-LP-166101 [Rev P01](#) Proposed Platform Canopies Structural Plan (Platform Level)

151667-TSA-30-MVL3-DRG-T-LP-166102 [Rev P01](#) Proposed Platform Canopies Structural Sections

151667-TSA-30-MVL3-DRG-T-LP-166103 [Rev P01](#) Proposed Platform Canopies Structural Sections

151667-TSA-30-MVL3-DRG-T-LP-166104 [Rev P01](#) Proposed Platform Canopies Proposed Roof Covering Plans

151667-TSA-30-MVL3-DRG-T-LP-166105 [Rev P01](#) Proposed Platform Canopies Proposed Roof Covering Details



INQ/6A

- 151667-TSA-30-MVL3-DRG-T-LP-166106 [Rev P01](#) Proposed Platform Canopies Elevation (1)
- 151667-TSA-30-MVL3-DRG-T-LP-166107 [Rev P01](#) Proposed Platform Canopies Elevation (2)
- 151667-TSA-30-MVL3-DRG-T-LP-166108 [Rev P01](#) Proposed Platform GA
- 151667-TSA-30-MVL3-DRG-T-LP-166109 [Rev P01](#) Proposed Platform Penistone Canopies Structural Plan (Roof Level)
- 151667-TSA-30-MVL3-DRG-T-LP-166110 [Rev P01](#) Proposed Platform Penistone Canopies Structural Plan (Platform Level)
- 151667-TSA-30-MVL3-DRG-T-LP-166111 [Rev P01](#) Proposed Platform Penistone Canopies Structural Sections
- 151667-TSA-30-MVL3-DRG-T-LP-166113 [Rev P01](#) Proposed Platform Penistone Canopies Proposed Roof Covering Plans
- 151667-TSA-30-MVL3-DRG-T-LP-166114 [Rev P01](#) Proposed Platform Penistone Canopies Proposed Roof Covering Details
- 151667-TSA-30-MVL3-DRG-T-LP-166115 [Rev P01](#) Proposed Platform Penistone Canopies Elevation (1)



INQ/6A

Huddersfield Station – Footbridge (MVL3/91AA)

151667-TSA-30-MVL3-DRG-T-LP-166123 [Rev P01](#) Footbridge - Proposed GA Platform Level

151667-TSA-30-MVL3-DRG-T-LP-166124 [Rev P01](#) Footbridge - Proposed Plan Deck Level, Elevations

151667-TSA-30-MVL3-DRG-T-LP-166125 [Rev P01](#) Footbridge - Proposed Roof Level GA

151667-TSA-30-MVL3-DRG-T-LP-166126 [Rev P01](#) Footbridge - Proposed Elevations

151667-TSA-30-MVL3-DRG-T-LP-166127 [Rev P01](#) Footbridge - Proposed Sections

151667-TSA-30-MVL3-DRG-T-LP-166128 [Rev P01](#) Footbridge - Proposed Details (1)

151667-TSA-30-MVL3-DRG-T-LP-166129 [Rev P01](#) Footbridge - Proposed Details (2)

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151667-TSA-W3-000-DRG-T-LP-162970 OLE [Rev P01](#) Structures Typical Details

Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

- 3. (Huddersfield station materials)** Before the development hereby approved commences, or within a timescale to be otherwise agreed in writing by the local planning authority, samples and specifications of all materials to be used on all external elevations, roofs and subways of the development shall be submitted to and approved in writing by the local planning authority. The development shall be constructed only using the approved materials unless otherwise agreed in writing by the local authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

- 4. (Huddersfield Recording)** No works of demolition shall take place until an approved methodology for full structure recording has been approved in writing with the local planning authority. Subsequent recording to the appropriate level (as recommended by Historic England) will take place prior to demolition and be deposited with the West Yorkshire Archive Service and West Yorkshire Historic Environment Record in accordance with the timescales agreed in the approved methodology. The following structures are the subject of this condition:



INQ/6A

- i) The entire Huddersfield Station Roof (level 3)
- ii) Huddersfield Station Tea Rooms (level 2)

Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

- 5. (Platform Furniture Huddersfield)** Details of new platform fixtures and fittings, including close circuit television, public address system, customer information screens, waiting shelters, lighting, weather screens, station signage and platform surfacing, shall be submitted to and agreed in writing with the local planning authority. The proposed works shall be carried out in accordance with these approved details unless otherwise agreed in writing by the local planning authority.

INQ/6A

Reason: *To control the introduction of modern features onto the historic environment in an appropriate and sympathetic manner*

6 (Conservation Implementation Management Plan – Huddersfield Station Environs)

No works including any works of demolition shall commence until a Conservation Implementation Plan (CIMP) for Huddersfield Station has been submitted to and approved in writing by the local planning authority. The approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for:

- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) repairs and strengthening to the existing fabric of the trainshed roof at Huddersfield Station;
- iii) the deconstruction, storage and reconstruction of the Tea Rooms at Huddersfield Station;
- iv) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse;
- v) any improvements to the setting to sustain, enhance and better reveal the heritage asset affected;
- vi) details of the maintenance access regime with particular reference to the roofs
- vii) dissemination of “toolbox talks” to personnel involved in demolition and construction works;
- viii) provision of heritage interpretation boards during construction works;

ix) the exact affixing details of overhead line electrification; and

x) an overarching design guide covering both Huddersfield Station and Huddersfield Viaduct.

The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

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Listed Building Consent Application – Huddersfield Viaduct (NR18)

Schedule of proposed conditions for LBC application PP-09487257 (Huddersfield Viaduct Works) in association with the Network Rail (Huddersfield to Westtown (Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

151667-TSA-30-MVL3-DRG-T-LP-163100 [Rev P02](#) Existing Plan and Proposed Plan (Sheet 1)

151667-TSA-30-MVL3-DRG-T-LP-163101 [Rev P02](#) Existing Plan and Proposed Plan (Sheet 2)

151667-TSA-30-MVL3-DRG-T-LP-163102 [Rev P02](#) Existing Plan and Proposed Plan (Sheet 3)

151667-TSA-30-MVL3-DRG-T-LP-163103 [Rev P02](#) Existing Plan and Proposed Plan (Sheet 4)

151667-TSA-30-MVL3-DRG-T-LP-163104 [Rev P02](#) Existing Plan and Proposed Plan (Sheet 5)

151667-TSA-30-MVL3-DRG-T-LP-163105 [Rev P01](#) Existing & Proposed East Elevation (Sheet 1)

151667-TSA-30-MVL3-DRG-T-LP-163106 [Rev P01](#) Existing & Proposed East Elevation (Sheet 2)

151667-TSA-30-MVL3-DRG-T-LP-163107 [Rev P01](#) Existing & Proposed East Elevation (Sheet 3)

151667-TSA-30-MVL3-DRG-T-LP-163108 [Rev P01](#) Existing & Proposed East Elevation (Sheet 4)

151667-TSA-30-MVL3-DRG-T-LP-163109 [Rev P01](#) Existing & Proposed East Elevation (Sheet 5)



INQ/6A

151667-TSA-30-MVL3-DRG-T-LP-163110 [Rev P02](#) Existing & Proposed West Elevation(Sheet 1)

151667-TSA-30-MVL3-DRG-T-LP-163111 [Rev P01](#) Existing & Proposed West Elevation (Sheet 2)

151667-TSA-30-MVL3-DRG-T-LP-163112 [Rev P01](#) Existing & Proposed West Elevation (Sheet 3)

151667-TSA-30-MVL3-DRG-T-LP-163113 [Rev P01](#) Existing & Proposed West Elevation (Sheet 4)

151667-TSA-30-MVL3-DRG-T-LP-163114 [Rev P01](#) Existing & Proposed West Elevation (Sheet 5)

151667-TSA-30-MVL3-DRG-T-LP-163115 [Rev P01](#) Cross Sections with proposed OLE

151667-TSA-30-MVL3-DRG-T-LP-163118 [Rev P01](#) Typical Arch Repair Details

INQ/6A

151667-TSA-30-MVL3-DRG-T-LP-163119 Rev P01 Signal Gantry Cross Sections and Fixing Details

Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

- 3. (Materials)** Before the development hereby approved commences, or within a timescale to be otherwise agreed in writing by the local planning authority, samples and specifications of all materials to be used on all external elevations of the development shall be submitted to and approved in writing by the local planning authority. The development shall be constructed only using the approved materials unless otherwise agreed in writing by the local authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

- 4. (Huddersfield Viaduct Recording)** No works of demolition shall take place until a methodology for full structure recording has been approved in writing with the local planning authority. The subsequent recording will take place prior to demolition and be deposited with the West Yorkshire Archive Service and West Yorkshire Historic Environment Record in accordance with the timescales agreed in the approved methodology. The following structures are the subject of this condition :

- i) Huddersfield Viaduct Spans 1, and 29 (level 2); span 4 (level 1);
- ii) A recording undertaken to Level 1 of the sections of the parapet of the viaduct which are proposed to be altered to accommodate the attachment of OLE and its setting, including a photographic record.

Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

- 5. (Conservation Implementation Management Plan)** No works including any works of demolition shall commence until a Conservation Implementation Plan (CIMP) has been submitted to and approved in writing by the local planning authority. The approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for:

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- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse where appropriate;
- iii) any improvements to the setting to sustain, enhance and better reveal the heritage asset affected;
- iv) exact affixing details of overhead line electrification;
- v) details of any maintenance access regime if required;

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vi) provision of heritage interpretation boards during construction works;

vii)

h) dissemination of “toolbox talks” to personnel involved in demolition and construction works; and

i) an overarching design guide covering both Huddersfield Station and Huddersfield Viaduct.

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The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

Reason: *To ensure the conservation of the historic environment and beconsistent with Policy LP35 of the Kirklees Local Plan*



INQ/6A

Listed Building Consent Application – Wheatley’s (Colliery Lane) Bridge
(NR19)

Schedule of proposed conditions for LBC application PP-09487288 (Demolition of Wheatley’s (Colliery Lane) Bridge MVN3/103) in association with the Network Rail (Huddersfield to Westtown (Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

151667-TSA-32-MVL3-DRG-T-LP-163300 [Rev P01](#) Existing and Proposed Plan

151667-TSA-32-MVL3-DRG-T-LP-163301 [Rev P01](#) (1) Existing and Proposed Elevation (2) Existing and Proposed Sections

Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

3. **(Historic Structures Recording)** No works of demolition shall take place until a methodology for full structure recording has been approved in writing [with the local planning authority](#). Subsequent recording will take place prior to demolition and be deposited with the West Yorkshire Archive Service and West Yorkshire Historic Environment Record [in accordance with the timescales agreed in the approved methodology](#).

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Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

4. **(Conservation Implementation Management Plan)** No works including any works of demolition shall commence until a Conservation Implementation Plan (CIMP) has been submitted to and approved in writing by the local planning authority. The



INQ/6A

approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for:

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- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse where appropriate;
- iii) details of any maintenance access regime required (if any)
- iv) provision of heritage interpretation boards during construction works and permanent interpretation material following completion
- v) dissemination of "toolbox talks" to personnel involved in demolition and construction works

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The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

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Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

5. (Materials) Before the commencement of any works in respect of bridge MVL3/103 samples and specifications of all materials to be used on all external elevations must be submitted to and approved in writing by the local planning authority.

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Listed Building Consent Application – Colne Bridge Road Bridge(NR20)

Schedule of proposed conditions for LBC application PP-09487326 (Demolition of B6118 Colne Bridge Road Bridge MVL3/107) in association with the Network Rail (Huddersfield to Westtown (Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

151667-TSA-33-MVL3-DRG-T-LP-163400 [Rev P02](#) Structures Existing Plan (LBC)
151667-TSA-32-MVL3-DRG-T-LP-163401 [Rev P02](#) Structures Proposed Plan (LBC)
151667-TSA-32-MVL3-DRG-T-LP-163402 [Rev P01](#) Structures West Elevation (LBC)
151667-TSA-32-MVL3-DRG-T-LP-163403 [Rev P01](#) Structures East Elevation and Sections (LBC)

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Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

3. **(Historic Structures Recording)** No works of demolition shall take place until an approved methodology for full structure recording including the appropriate level of recording has been approved in writing with the local planning authority. Subsequent recording will take place prior to demolition and be deposited with the West Yorkshire Archive Service and West Yorkshire Historic Environment Record in accordance with the timescales agreed in the approved methodology.

Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

4. **(Conservation Implementation Management Plan)** No works including any works of demolition shall commence until a Conservation Implementation Plan (CIMP) has



INQ/6A

been submitted to and approved in writing by the local planning authority. The approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for:

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- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse where appropriate;
- iii) details of any maintenance access regime required (if any)
- iv) provision of heritage interpretation boards during construction works
- v) dissemination of "toolbox talks" to personnel involved in demolition and construction works

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The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

5. (Materials) Before the commencement of any works in respect of bridge MVL3/107 samples and specifications of all materials to be used on all external elevations must be submitted to and approved in writing by the local planning authority.

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INQ/6A

Listed Building Consent Application – Mirfield Viaduct (NR21)

Schedule of proposed conditions for LBC application PP-09487368 (Provision of Overhead Line Equipment on Mirfield Viaduct MVN3/192) in association with the Network Rail (Huddersfield to Westtown (Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

151667-TSA-34-MVN2-DRG-T-LP-163500 [Rev P02](#) Existing and Proposed plan layout
151667-TSA-34-MVN2-DRG-T-LP-163501 [Rev P01](#) Existing and Proposed Elevation 1 (North)
151667-TSA-34-MVN2-DRG-T-LP-163502 [Rev P02](#) Existing and Proposed Elevation 2 (North)
151667-TSA-34-MVN2-DRG-T-LP-163503 [Rev P02](#) Existing and Proposed Elevation 3 (North)
151667-TSA-34-MVN2-DRG-T-LP-163504 [Rev P02](#) Existing and Proposed Elevation 1 (South)
151667-TSA-34-MVN2-DRG-T-LP-163505 [Rev P02](#) Existing and Proposed Elevation 2 (South)
151667-TSA-34-MVN2-DRG-T-LP-163506 [Rev P02](#) Existing and Proposed Elevation 3 (South)
151667-TSA-34-MVN2-DRG-T-LP-163507 [Rev P02](#) Existing and Proposed Typical Section

Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

3. **(Materials)** Before the development hereby approved commences, or within a timescale to be otherwise agreed in writing by the local planning authority, samples and specifications of all materials to be used on all external elevations of the



INQ/6A

development shall be submitted to and approved in writing by the local planning authority. The development shall be constructed only using the approved materials unless otherwise agreed in writing by the local authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

4. **(Historic Structures Recording)** No works shall take place until a methodology for full structure recording including the appropriate level of recording has been approved in writing with the local planning authority. Subsequent recording will take place prior to commencement of works and be deposited with the West Yorkshire Archive Service and West Yorkshire Historic Environment Record in accordance with the timescales agreed in the approved methodology.

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Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

5. **(Conservation Implementation Management Plan)** No works shall commence until a Conservation Implementation Plan (CIMP) has been submitted to and approved in writing by the local planning authority. The approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for:

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- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse where appropriate;
- iii) any improvements to the setting to sustain, enhance and better reveal the heritage asset affected;
- iv) exact affixing details of overhead line electrification
- v) details of any maintenance access regime required (if any)
- vi) provision of heritage interpretation boards during construction works
- vii) dissemination of "toolbox talks" to personnel involved in demolition and construction works

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The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*



INQ/6A

**Listed Building Consent Application – River Calder Wheatley's Viaduct
(NR22)**

Schedule of proposed conditions for LBC application PP-09487405 (Provision of overhead line equipment and new handrail, River Calder Wheatley's Viaduct MVN2/196) in association with the Network Rail (Huddersfield to Westtown(Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

151667-TSA-34-MVN2-DRG-T-LP-163600 [Rev P02](#) Existing and Proposed plan layout
151667-TSA-34-MVN2-DRG-T-LP-163601 [Rev P01](#) Existing and Proposed Elevation 1 (North)
151667-TSA-34-MVN2-DRG-T-LP-163602 [Rev P01](#) Existing and Proposed Elevation 2 (North)
151667-TSA-34-MVN2-DRG-T-LP-163603 [Rev P01](#) Existing and Proposed Elevation 1 (South)
151667-TSA-34-MVN2-DRG-T-LP-163604 [Rev P01](#) Existing and Proposed Elevation 2 (South)
151667-TSA-34-MVN2-DRG-T-LP-163605 [Rev P01](#) Existing and Proposed Typical Section

Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

3. **(Materials)** Before the development hereby approved commences, or within a timescale to be otherwise agreed in writing by the local planning authority, samples and specifications of all materials to be used on all external elevations of the development shall be submitted to and approved in writing by the local planning authority. The development shall be constructed only using the approved materials unless otherwise agreed in writing by the local authority.



INQ/6A

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

4. **(Historic Structures Recording)** No works of demolition shall take place until a methodology for full structure recording has been approved in writing with the local planning authority. Subsequent recording will take place prior to demolition and be deposited with the West Yorkshire Archive Service and West Yorkshire Historic Environment Record in accordance with the timescales agreed in the approved methodology.

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Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

INQ/6A

5. (**Conservation Implementation Management Plan**) No works including any works of demolition shall commence until a Conservation Implementation Plan (CIMP) has been submitted to and approved in writing by the local planning authority. The approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for

~~The approved CIMP shall include methodologies for:-~~

- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse where appropriate;
- iii) any improvements to the setting to sustain, enhance and better reveal the heritage asset affected;
- iv) exact affixing details of overhead line electrification
- v) details of any maintenance access regime required (if any)
- vi) provision of heritage interpretation boards during construction works
- vii) dissemination of "toolbox talks" to personnel involved in demolition and construction works

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The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

Reason: To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan



INQ/6A

Listed Building Consent Application – Occupation Bridge (NR23)

Schedule of proposed conditions for LBC application PP-09487446 (Infill of Occupation Bridge (Thornhill Road) MDL1/10) in association with the Network Rail (Huddersfield to Westtown (Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

151667-TSA-35-MVN2-DRG-T-LP-163800 [Rev P02](#) Existing and Proposed Plan

151667-TSA-35-MVN2-DRG-T-LP-163801 [Rev P02](#) Existing and Proposed Elevation (North side)

151667-TSA-35-MVN2-DRG-T-LP-163802 [Rev P02](#) Existing and Proposed Elevation (South Side)

151667-TSA-35-MVN2-DRG-T-LP-163803 [Rev P01](#) Existing and Proposed Sections

Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

3. **(Materials)** Before the development hereby approved commences, or within a timescale to be otherwise agreed in writing by the local planning authority, samples and specifications of all materials to be used on all external elevations of the development shall be submitted to and approved in writing by the local planning authority. The development shall be constructed only using the approved materials unless otherwise agreed in writing by the local authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*



INQ/6A

4. **(Historic Structures Recording)** No works shall take place until a methodology for full structure recording has been approved in writing with the local planning authority. Subsequent recording will take place prior to demolition and be deposited with the West Yorkshire Archive Service and West Yorkshire Historic Environment Record in accordance with the timescales agreed in the approved methodology.

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Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

5. **(Conservation Implementation Management Plan)** No works shall commence until a Conservation Implementation Plan (CIMP) has been submitted to and approved in writing by the local planning authority. The approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for

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INQ/6A

~~The approved CIMP shall include methodologies for:~~

- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse where appropriate;
- iii) any improvements to the setting to sustain, enhance and better reveal the heritage asset affected;
- iv) details of any maintenance access regime required (if any)
- v) provision of heritage interpretation boards during construction works
- vi) dissemination of "toolbox talks" to personnel involved in demolition and construction works

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The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*



INQ/6A

Listed Building Consent Application – Toad Holes Bridge (NR24)

Schedule of proposed conditions for LBC application PP-09487474 (Total infill and deck re-construction of Toad Holes Bridge MDL1/12) in association with the Network Rail (Huddersfield to Westtown (Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

151667-TSA-35-MVN2-DRG-T-LP-163900 [Rev P02](#) Existing and Proposed Plan
151667-TSA-35-MVN2-DRG-T-LP-163901 [Rev P02](#) Existing and Proposed Elevation (South side)
151667-TSA-35-MVN2-DRG-T-LP-163902 [Rev P01](#) Existing and Proposed Sections

Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

3. **(Materials)** Before the development hereby approved commences, or within a timescale to be otherwise agreed in writing by the local planning authority, samples and specifications of all materials to be used on all external elevations of the development shall be submitted to and approved in writing by the local planning authority. The development shall be constructed only using the approved materials unless otherwise agreed in writing by the local authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

4. **(Historic Structures Recording)** No works of demolition shall take place until a methodology for full structure recording has been approved in writing with the local planning authority. Subsequent recording will take place prior to demolition and be deposited with the West Yorkshire Archive Service and West Yorkshire Historic

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INQ/6A

Environment Record in accordance with the timescales agreed in the approved methodology.

Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

5. (Conservation Implementation Management Plan) No works including any works of demolition shall commence until a Conservation Implementation Plan (CIMP) has been submitted to and approved in writing by the local planning authority. The approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for:

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INQ/6A

- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse where appropriate;
- iii) any improvements to the setting to sustain, enhance and better reveal the heritage asset affected;
- iv) details of any maintenance access regime required (if any)
- v) provision of heritage interpretation boards during construction works
- vi) dissemination of "toolbox talks" to personnel involved in demolition and construction works

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The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*



INQ/6A

Listed Building Consent Application – Ming Hill Bridge (NR25)

Schedule of proposed conditions for LBC application PP-09487499 (Ming Hill Bridge MDL1/14) in association with the Network Rail (Huddersfield to Westtown (Dewsbury) Improvements) Order

1. **(Time Limit)** The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: *To set a reasonable time limit for the commencement of the development*

2. **(Approved Drawings)** The development hereby permitted shall be carried out in accordance with the following drawings:

151667-TSA-35-MVN2-DRG-T-LP-163920 [Rev P02](#) Existing and Proposed Plan
151667-TSA-35-MVN2-DRG-T-LP-163921 [Rev P02](#) Existing and Proposed Elevation (South side)
151667-TSA-35-MVN2-DRG-T-LP-163922 [Rev P01](#) Existing and Proposed Sections

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Reason: *To ensure compliance with the approved plans and for the avoidance of doubt*

3. **(Materials)** Before the development hereby approved commences, or within a timescale to be otherwise agreed in writing by the local planning authority, samples and specifications of all materials to be used on all external elevations of the development shall be submitted to and approved in writing by the local planning authority. The development shall be constructed only using the approved materials unless otherwise agreed in writing by the local authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*

4. **(Historic Structures Recording)** No works of demolition shall take place until a methodology for full structure recording has been approved in writing [with the local planning authority](#). Subsequent recording will take place prior to demolition and be

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INQ/6A

deposited with the West Yorkshire Archive Service and West Yorkshire Historic Environment Record.

Reason: *In recognition of the architectural and historic significance of the Listed Building and in accordance with Chapter 16 of the NPPF.*

5. (Conservation Implementation Management Plan) No works including any works of demolition shall commence until a Conservation Implementation Plan (CIMP) has been submitted to and approved in writing by the local planning authority. The approved CIMP will include as a minimum requirement contents based on the model template CIMP structure annexed to this list of conditions. The CIMP will specifically include methodologies for:

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~~The approved CIMP shall include methodologies for:-~~



INQ/6A

- i) fabric removal, masonry repairs, vegetation removal, repointing, metalwork repairs and application of protective paint systems as appropriate;
- ii) the identification of historic elements of the fabric which once removed may be reused or preserved, and a strategy for their storage or reuse where appropriate;
- iii) any improvements to the setting to sustain, enhance and better reveal the heritage asset affected;
- iv) details of any maintenance access regime required (if any)
- v) provision of heritage interpretation boards during construction works
- vi) dissemination of "toolbox talks" to personnel involved in demolition and construction works

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The works must be carried out in accordance with the approved CIMP unless otherwise agreed in writing with the local planning authority.

Reason: *To ensure the conservation of the historic environment and be consistent with Policy LP35 of the Kirklees Local Plan*



INQ/6A

Annex

Proposed Outline Contents of Conservation Implementation Management Plan(s) (CIMPs)

INQ/6A

CIMP – proposed contents:	Details:
<p>1. Introduction</p> <ul style="list-style-type: none"> (a) Overview (b) Purpose of the Document (c) Consultation Process (d) Other Supporting Information [TBC dependant on structure] 	<p>Aims to provide succinct introduction to the document, including placing it in the context of ongoing consultation processes (with Kirklees Council and/or Historic England as applicable)</p> <p>The Other Supporting Information section will outline those other documents alongside which the CIMP should be read (e.g. the Design Guide for Huddersfield Station, WSIs for Building Recording etc.)</p>
<p>2. Strategic Overview</p> <ul style="list-style-type: none"> Strategic overview of the CIMP in relation to the wider TRU scheme 	<p>Inclusion in each CIMP of a strategic overview of the particular works in the wider context of TRU, Group value of the asset and the overall Transpennine Route Upgrade</p> <p><i>This section has been included in response to a recommendation from Kirklees Council in their Objection (OBJ/33)</i></p>
<p>3. Understanding the Site</p> <ul style="list-style-type: none"> (a) Heritage Context Overview: History of the Transpennine Route (b) Historic Development of [Structure] (c) Heritage Context: Other Designated Heritage Assets [TBC dependant on structure] (d) Significance of Heritage Assets: [Structure] (e) Significance of Other Designated Heritage Assets [TBC dependant on structures] 	<p>A succinct overview of the heritage context and significance of the assets affected by the proposed works covered by the particular CIMP. This will draw on pre-existing accepted sources, including the ES, Heritage Assessments, Statements of Significance etc. This aims to provide the context in which the methodologies which follow have been developed.</p> <p>This section will also include opportunity for identification of any associated heritage assets which will also be affected by the proposals, for example consideration of the Huddersfield Town Centre Conservation Area in the CIMPs concerning Huddersfield Station and Huddersfield Viaduct (MVL 3/92)</p>
<p>4. [Structure] - Methodologies</p> <ul style="list-style-type: none"> Summary (a) Historic Building Recording and Monitoring before and after works (b) Fabric removal 	<p>This section will form the bulk of the document and will outline the specific methodologies for the individual elements of work at the heritage assets concerned. These will be supported by appendices where appropriate (e.g. for additional information, supplementary documentation)</p> <p>Where appropriate, this section of the CIMP may be sub-divided according to the Stages of development; this is particularly the case where structures will undergo the proposed works over a</p>

INQ/6A

<ul style="list-style-type: none"> • (c) Introduction of new fabric • (d) Repairs, vegetation removal, repointing • (e) The identification of historically or architecturally significant elements of fabric which once removed may be reused or preserved, and a strategy for their storage or reuse [TBC] • (f) Any improvements to the setting to sustain, enhance and better reveal the significance of the heritage assets affected • (g) Any improvements to sustain the long-term conservation of the heritage assets affected [TBC] • (h) <p><i>N.B. Those applicable to the asset</i></p>	<p>longer period of time, such as at Huddersfield Station. Similarly, for those structures such as Huddersfield Station where there are multiple interventions over multiple elements proposed, each methodology sub-section will be divided by area, so for example (a) Historic Building Recording and Monitoring will be split into the relevant methodologies for the principal Roof A, Roofs B and C, the Tea Rooms etc.</p> <p>This section of the CIMP, supported as necessary by the appendices, will provide the details of the approach to the works, and for the different relevant work areas will cover items including, but not limited to:</p> <ul style="list-style-type: none"> • Definition of the required standard of works and workmanship • Methodologies around storage of any temporarily-removed material (for example regarding the Tea Rooms at Huddersfield Station) • Construction methods and adopted techniques • Use of equipment • Specification of materials • Details of heritage interpretation
<p>5. Maintenance and management schedules to protect the long-term condition of the heritage assets affected</p>	<p>Agree any particular management needs and set out a timetable for regular inspection as part of NR's management of historic assets.</p>
<p>6. Implementation and Review of the CIMP</p> <ul style="list-style-type: none"> • (a) Implementation • (b) Review 	<p>Very succinct identification of how the document will be implemented (once approved) and any elements which will require further review (e.g. building recording etc.) and how the continual engagement and review of works with stakeholders will be planned.</p>
<p>Appendices [<i>would include</i>]</p> <ul style="list-style-type: none"> • Site Plan • Planning and Listed Building Consent conditions • Additional drawings and visualisations • Samples 	<p>Each CIMP would include various appendices to provide supplementary information, for example providing specific method statements around fabric removal, strengthening works or introduction of new elements.</p> <p>Each CIMP would also include as Appendices both the relevant Planning and Listed Building Consent conditions which seek to be fully or partially discharged through the contents of the CIMP</p>

INQ/6A

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| <ul style="list-style-type: none">• Maintenance schedules• Specific method statements• Results of any intermediary surveys etc. <p><i>N.B. Those applicable to the asset</i></p> | |
|--|--|