

An aerial photograph of Coventry City Centre South, showing a dense urban landscape with a mix of residential and commercial buildings, streets, and green spaces. The image is overlaid with a semi-transparent blue filter.

# COVENTRY CITY CENTRE SOUTH

DEVELOPMENT PRINCIPLES DOCUMENT

December 2022

Allies and Morrison



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Placemaking and Public Art	DPQ
Air Quality	RSK
Arboriculture and Ecology	Temple
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**Note:** any visuals shown in this Development Principles Document are for illustrative purposes only and not for approval.

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# 1.0

## Introduction

- 1.1 Purpose of the Development Principles Document
- 1.2 Coventry - Architectural History and Influences
- 1.3 The Vision
- 1.4 Architectural Response



# Introduction

## 1.1 Purpose of the Development Principles Document

This Development Principles Document (‘the Document’) has been produced by Allies and Morrison on behalf of Shearer Property Regen LTD. (‘SPRL’ or ‘the Applicant’) for approval, to accompany the hybrid planning application for City Centre South.

This document is to be read alongside the Parameter Plans Document for approval, and is to be applied to the outline planning components of the updated hybrid planning application. The intent of this document is to set out a series of design principles that should inform the design of subsequent reserved matters applications. These are to be read alongside the parameter plans for approval.

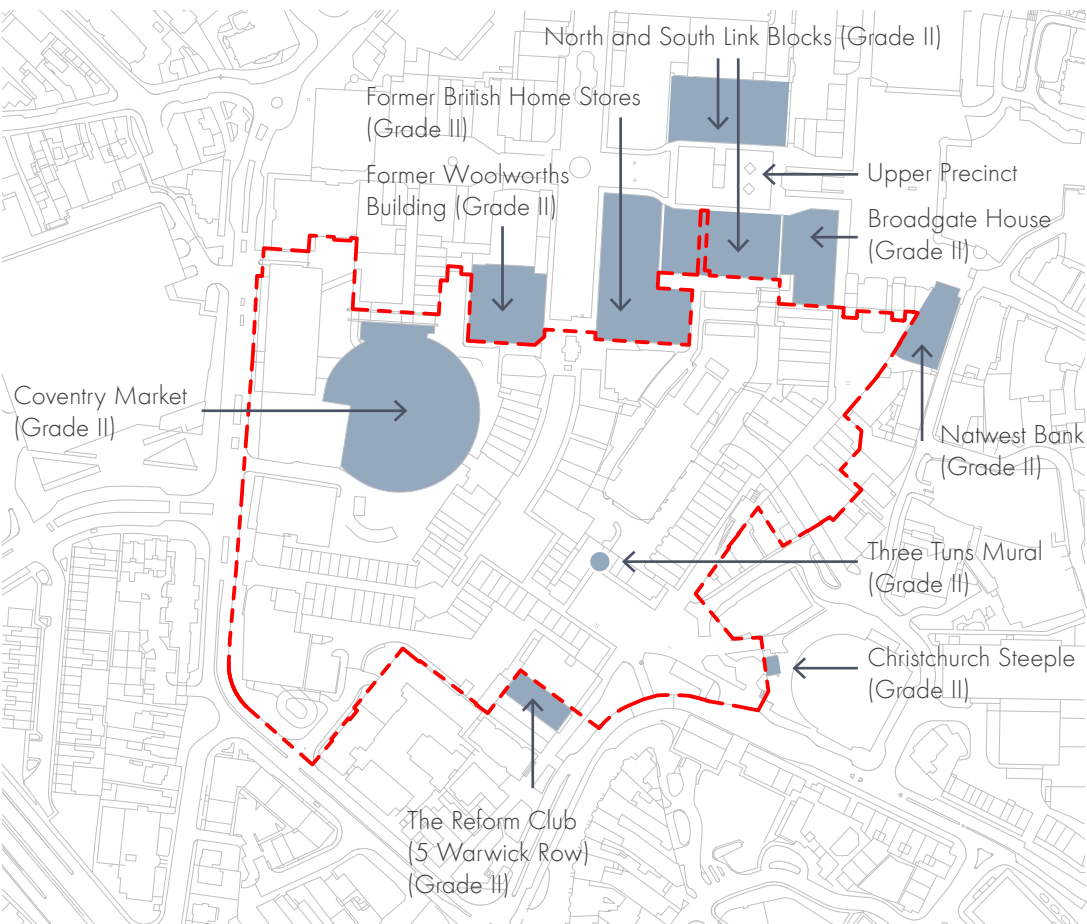
Combined with the Parameter Plans Document, this document sets the framework for the massing, scale and architectural treatment of buildings, and for landscape and public realm design. The approved documents provide both the City Centre South design team and Coventry City Council with guidance to be considered in the development management process.

This document sets out mandatory and recommended development principles on a sitewide and block-specific basis:

- **MANDATORY** development principles must be followed to ensure that the measures which have been agreed at outline planning application stage as being necessary, are implemented at detailed design stage.
- **RECOMMENDED** development principles comprise guidance which should be followed unless it can be demonstrated that there are satisfactory reasons not to comply with it.

There are two levels of detail within this document:

- Sitewide Design Principles – which apply to the parts of the Site that are not adjacent to listed buildings; and
- Development Principles – which provide plot-specific guidance and generally apply where development is proposed adjacent to listed buildings and which have been informed by extensive pre-application discussions with the Local Planning Authority and other stakeholders, and have had particular regard to the setting of the following designated heritage assets:
  - Coventry Market (Grade II)
  - Former Woolworths Building (Grade II)
  - Former British Home Stores (Grade II)
  - Upper Precinct, North and South Link Blocks (Grade II)
  - Broadgate House (Grade II)
  - Natwest Bank (Grade II)
  - Christchurch Steeple (Grade II)
  - 5 Warwick Row (The Reform Club) (Grade II)



Designated Heritage Assets



Coventry Market (Google Earth)



BHS and Woolworths (Google Earth)



Broadgate House (Google Earth)



The Reform Club (Google Earth)



# Application Documents

APPLICATION	Planning Application		Supporting Material for Hybrid Planning Application	City Centre South - Full Planning Component of Hybrid Planning Application
DOCUMENT	Parameter Plans Document	Development Principles Document	Design and Access Statement	Proposal Drawings
PURPOSE	Outline Parameters for development including land use distribution, layout, scale and massing, and the strategic access arrangements	Development Principles Document ensures design quality within reserved matters applications, codes are structured as site-wide and area-specific design codes	Description and justification of design proposals, masterplan vision, spatial principles, land-use, distribution, development plot layout and scale, the strategic access arrangements	Detailed drawings of works relating to Grade II listed Coventry Market and Three Tuns Mural.
STATUS	FOR APPROVAL		FOR INFORMATION	FOR APPROVAL

Hybrid planning permission (part detailed, part outline) for City Centre South was approved in January 2022. This minor material amendment application seeks to amend the approved parameter plans and reflect these in an updated Development Principles Document.

The application comprises the components in the chart above, and this document is highlighted with a dashed line. Wherever possible, the content of the consented Development Principles Document produced in March 2021 has been replicated in order to retain consistency with the original application. Variations have been introduced to align with the amended designs proposed within the Parameter Plans Document and explained in the Design and Access Statement.

# Compliance Framework

This Development Principles Document has been submitted as a document for approval, which provides a framework for future reserved matters applications. The relationship with reserved matters applications is intended to be enforced through the attachment of a planning condition requiring reserved matters application to demonstrate accordance with this document, as well as other documents submitted for approval, including the Parameter Plans Document.

To assist the Local Planning Authority and future Design Team with the application of the **mandatory** and **recommended** principles set out in this document, reserved matters applications must be submitted with reference to the compliance matrix below.

All reserved matters applications must explain their compliance with the site-wide development principles set out in Table 3, as applicable to the development proposed. The purpose of this compliance matrix is to signpost the Local Planning Authority to explanation within the reserved matters application submission, i.e. identifying where the Local Planning Authority can find this information; this could be the accompanying Planning Statement, Design and Access Statement or drawing. A worked example of compliant proposal is provided in Table 1 below.

Where a reserved matters application proposes not to comply with **mandatory** or **recommended** development principles, justification must be provided as to why compliance is not feasible or desirable, in reference to how the proposed design will deliver the site-wide vision. Where a site-wide development principle is not applicable, explanation must be provided as to why it is not applicable. A worked example of this is provided in Table 2.

Where a reserved matters application relates to any of Blocks A, B, C, D or E (the Pavilion), the applicant must list all of the relevant block-specific development principles and set out how the reserved matters application complies, or how block-specific development principle(s) are not applicable to the proposed development. A template for this is provided in Table 4.



Table 1: Worked example of compliant reserved matters application

Principle reference	Status of principle	Explanation of why this principle is applicable / not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
2.1 Architectural Diversity and Forms			
2.1A	Mandatory	Applicable as buildings are proposed in this reserved matters application	Refer to Section 4.1 of DAS for streetscene imagery and elevation drawings (references 123-126) submitted for approval, which show compliance with this principle.
2.1B	Mandatory	Applicable as buildings are proposed in this reserved matters application	Refer to Section 5.1 of DAS for proposed material palette for buildings. Details of elevational treatment are provided in elevation drawings (references 123-126) submitted for approval, which show compliance with this principle.
2.1C	Mandatory	Applicable as balconies for residential units are proposed on south and east elevations of buildings	Refer to Section 2.1 of DAS showing how the proposed building footprint fits within development plot approved in the Proposed Development Plots Parameter Plans, including how the balconies protrude a maximum of 1.8 metres beyond the maximum development plot extent defined in the Proposed Development Plots Parameter Plans. This complies with the maximum two metre protrusion beyond
2.1D	Recommended	Applicable as buildings are proposed in this reserved matters application.	Refer to Section 5.1 of DAS for proposed material palette for buildings. Details of elevational treatment are provided in elevation drawings (references 123-126) submitted for approval, which show compliance with this principle

Table 2: Worked example of non-compliant / non-applicable reserved matters application

Principle reference	Status of principle	Explanation of why this principle is applicable/not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
2.1B	Mandatory	Balconies are not proposed. Refer to Section 2 of the Planning Statement, which describes non-residential uses proposed in this phase.	N/A
3.4D	Recommended		A rooftop amenity space is not proposed, owing to the requirement for rooftop plant space and green/blue roof. Refer to Section 3.4 of DAS for servicing strategy and drawing references 123 roof plan and 124 landscaping plan.



Table 3: Sitewide development principles compliance matrix to accompany all reserved matters applications

Principle reference	Status of principle	Explanation of why this principle is applicable / not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
2.1 Architectural Diversity and Forms			
2.1A	Mandatory		
2.1B	Mandatory		
2.1C	Mandatory		
2.1D	Recommended		
2.1E	Recommended		
2.1F	Recommended		
2.1G	Recommended		
2.2 Active Frontages			
2.2A	Mandatory		
2.2B	Mandatory		
2.2C	Mandatory		
2.2D	Recommended		
2.3 Mix of Uses			
2.3A	Mandatory		
2.3B	Mandatory		
2.3C	Mandatory		
2.4 Scale, Height and Roofscape			
2.4A	Mandatory		
2.4B	Recommended		
2.4C	Recommended		
2.4D	Recommended		
2.4E	Recommended		
2.4F	Recommended		



Principle reference	Status of principle	Explanation of why this principle is applicable/not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
2.5 Materials			
2.5A	Mandatory		
2.5B	Mandatory		
2.5C	Recommended		
2.8 Public Realm			
2.8A	Mandatory		
2.8B	Mandatory		
2.8C	Mandatory		
2.8D	Mandatory		
2.8E	Mandatory		
2.8F	Mandatory		
2.8G	Mandatory		
2.8H	Mandatory		
2.8I	Mandatory		
2.8J	Recommended		
2.9 Permeability			
2.9A	Mandatory		
2.9B	Mandatory		
2.9C	Mandatory		

Principle reference	Status of principle	Explanation of why this principle is applicable/not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
<b>2.10 Hierarchy of Spaces</b>			
2.10A	Mandatory		
2.10B	Mandatory		
2.10C	Mandatory		
2.10D	Mandatory		
2.10E	Mandatory		
2.10F	Mandatory		
2.10G	Mandatory		
2.10H	Mandatory		
2.10I	Mandatory		
2.10J	Mandatory		
2.10K	Mandatory		
2.10L	Recommended		
<b>2.11 Public Square 1</b>			
2.11A	Mandatory		
2.11B	Mandatory		
2.11C	Mandatory		
2.11D	Mandatory		
<b>2.12 Public Square 2</b>			
2.12A	Mandatory		
2.12B	Mandatory		
2.12C	Mandatory		
<b>2.13 Blocks B &amp; D</b>			
2.13A	Mandatory		
2.13B	Recommended		
<b>2.14 Block E</b>			
2.14A	Mandatory		



Principle reference	Status of principle	Explanation of why this principle is applicable / not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
<b>2.15 Hertford Street</b>			
2.15A	Mandatory		
2.15B	Mandatory		
2.15C	Mandatory		
2.15D	Mandatory		
<b>2.16 Market Way</b>			
2.16A	Mandatory		
2.16B	Recommended		
<b>2.17 Access Strategy</b>			
2.17A	Mandatory		
2.17B	Mandatory		
2.17C	Mandatory		
2.17D	Mandatory		
<b>2.18 Materials and Street Furniture</b>			
2.18A	Mandatory		
2.18B	Mandatory		
2.18C	Mandatory		
2.18D	Recommended		
2.18E	Recommended		
2.18F	Recommended		
2.18G	Recommended		
2.18H	Recommended		

Principle reference	Status of principle	Explanation of why this principle is applicable / not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
<b>2.19 Accessibility</b>			
2.19A	Mandatory		
2.19B	Mandatory		
2.19C	Mandatory		
2.19D	Recommended		
2.19E	Recommended		
2.19F	Recommended		
2.19G	Recommended		
2.19H	Recommended		
2.19I	Recommended		
<b>2.20 Green Infrastructure</b>			
2.20A	Mandatory		
2.20B	Mandatory		
2.20C	Mandatory		
2.20D	Mandatory		
2.20E	Mandatory		
2.20F	Recommended		
<b>2.21 Public Art Strategy</b>			
2.21A	Mandatory		
<b>2.22 Existing Designated Public Art</b>			
2.22A	Mandatory		
2.22B	Mandatory		
2.22C	Recommended		



Principle reference	Status of principle	Explanation of why this principle is applicable/not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
2.23 Existing Non-Designated Public Art			
2.23A	Mandatory		
2.23B	Recommended		
2.23C	Mandatory		
2.23D	Recommended		
2.23E	Recommended		
2.23F	Mandatory		

Table 4: Template for block-specific development principles compliance matrix to accompany all reserved matters applications

Principle reference	Status of principle	Explanation of why this principle is applicable/not applicable to this reserved matters application	Explanation of compliance with this principle / justification of non-compliance with this principle
[ADD SUB-HEADING HERE – X.X SUB-HEADING TITLE]			
X.X REFERENCE	[Mandatory or Recommended]		

# Sitewide Architectural Character

## 1.2 Coventry - Architectural History and Influences

Present day Coventry is a much changed city and has been through several recognisable cycles of reinvention: From a walled medieval city located almost at the centre of the country equidistant from the coast in the west and east bustling with merchants and trade, to an industrial laden core melded with this, with factories and engineering supply industries peppering the centre, to a series of desolate ruins following the air raids in 1941, to its current incarnation with a largely pedestrianised retail precinct at its centre. What is remarkable and consistent is that the city has found a deeply embedded seam of optimism that has enabled it to regenerate and to move on.

The last of these cycles has been the development of a retail dominant precinct, master planned by Donald Gibson the City Architect and delivered over the post war years between 1946 and the mid-1970s by his team and successors in that role.

A modicum of older buildings have survived here and there, but these are rarities. There was always going to be a clearance to enable the brighter and more optimistic future in and thrive, a process that was precipitated and tragically executed by the wartime bombing.

The formation of the Upper and Lower Precincts by Gibson followed by the later extensions of the retail core along Hertford Street and Market Way by Arthur Ling have locked the heart of city into a particular model. Vehicles are largely banished and serve this from the perimeter, cycling is discouraged. Buses drop off and pick up at points on its circumference and the visitors cars bask in a multitude of multi storey car parks are king.

The architecture of the buildings is specific and deliberately restrained, modernist with a limited palette of materials and use of decoration, taking its clues from

the European and Scandinavian architects much admired by the City architect. The extraordinary and poetic form and rich interior of Sir Basil Spence's cathedral acts as a wonderful foil and counterpoint to this, together with some lonely survivors from the past, be it a bank, a Georgian town house or a fragment of a medieval street.

The more recent changes in the way we shop, the introduction of web based retail offers and access to products via courier and mail delivery systems have resulted in a decline in the commercial success of the retail precinct typology. The Upper Precinct and Cathedral Lanes areas have undergone successful renovation, with the remodelling of retail frontages and the introduction of water features and soft landscape. The City Centre site lies between this and the business district at Friargate immediately north of Coventry station.

A reduction in the extent of the precinct to reflect this paradigm shift coupled with the opportunity to introduce new residential accommodation will rebalance the city centre and introduce the next cycle for Coventry.

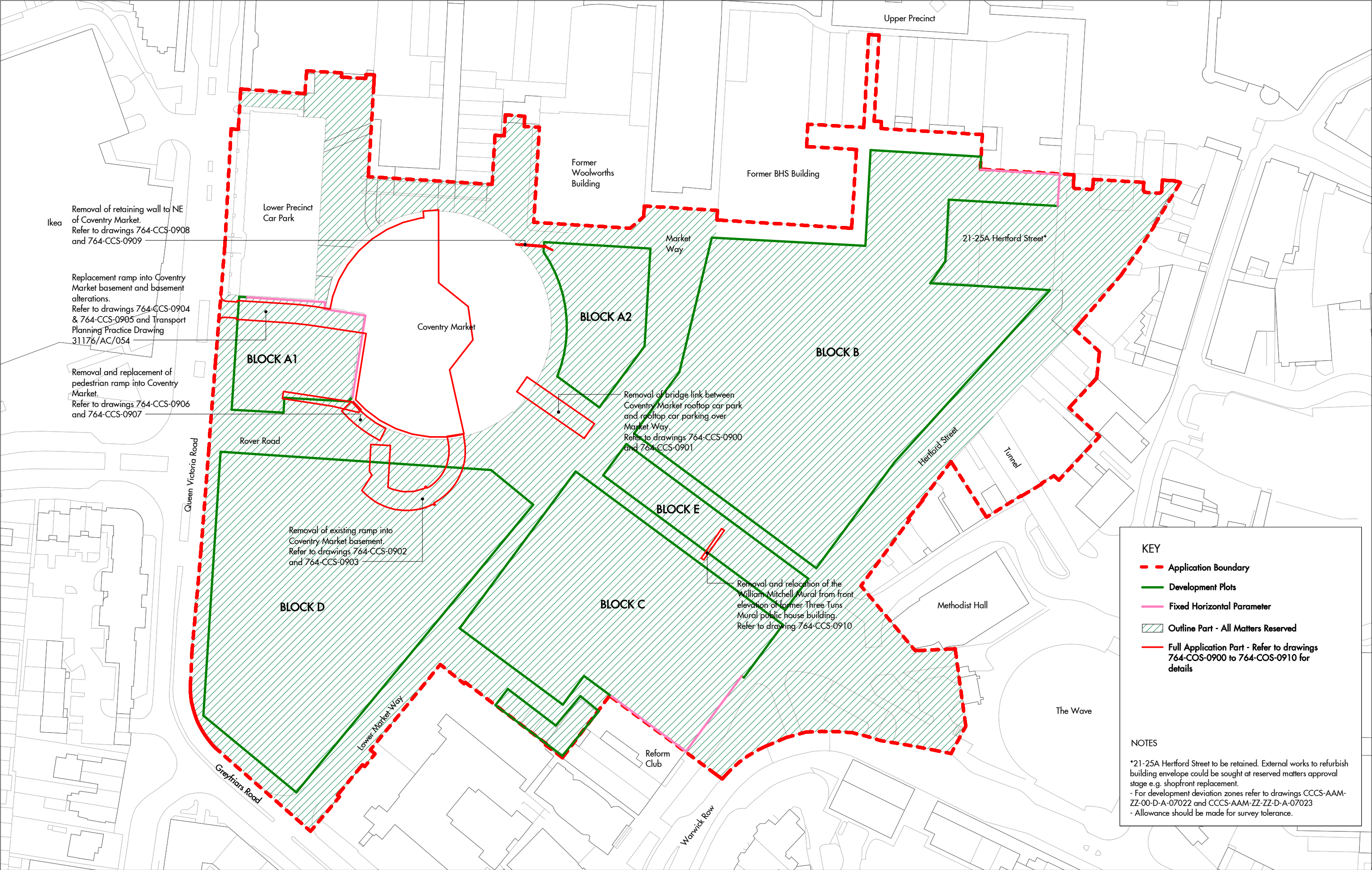
The revised Application Boundary Areas Plan (ref: CCCS-AAM-ZZ-ZZ-D-A-07031) overleaf provides an overview of the full and outline components for approval:

- Identifying where fixed horizontal parameters in pink where outline planning permission is sought, where “layout” is not a reserved matter (access, appearance, landscaping, scale reserved).
- Identifying where outline planning permission is sought with all matters reserved (access, appearance, landscaping, layout, scale).
- Identifying where full planning permission is sought in respect of works to Listed Buildings (works to Coventry Retail Market and the Three Tuns Mural).



The Reform Club







# The Vision

## 1.3 The Vision

Coventry was one of the fastest growing cities in Britain in the first four decades of the last century, powered by burgeoning motor and manufacturing industries in factories and warehouses, integrated on sites across the core of the medieval city plan. In this aura of growth and optimism about the city’s future the newly appointed City Architect Donald Gibson and his team made plans for an almost utopian vision for the heart of the city. This would involve the clearance of much of the existing narrow streets, the demolition of medieval, Georgian and Victorian buildings and a deliberate resetting of the city as an exemplar for how a city of the future should look and feel.

The masterplan that was devised in the late 1930s and delivered between 1946 and the mid-1950s deliberately changed the perceived general understanding of what a city centre was: a pattern of city streets of varied widths, lined with a mixture of shops and houses, and served by an integrated vehicular road network. It was replaced by a wholly pedestrianised largely retail precinct with integrated civic buildings, public realm and parks free from the domination of vehicles. However, one of the unrecognised consequences of a strategy that excluded the car and service vehicles from almost all the centre of the city was the solution: a necklace of multi storey car parks and service yards strung around its perimeter of little or no architectural quality.

The further retail extension to the Upper and Lower Precincts between 1955 and 1964 by his successor as the City Architect Arthur Ling, particularly on our site resulted in a more convoluted arrangement of service lots, multi storey car parks, integrated with a warren of illegible pedestrian cut throughs and bridge links. The hierarchy of public spaces was more confused too, particularly the relationship between Coventry Market and Bull Yard, and the introduction of cranked and covered

retail arcade between this and Queen Victoria Road which further reduced the legibility and definition between the street and buildings to either side of it.

Our Vision will be to regenerate and rebalance this part of the city centre through the comprehensive redevelopment of this site. This will:

- Change the current monocultural nature of the city centre
- Introduce a substantial new residential neighbourhood
- Curate complimentary retail offers stimulated by the resident population
- Encourage the regeneration and integration of Coventry Market within the new neighbourhood
- generate substantial public realm with a high proportion of soft landscape, planting, and trees
- provide a legible street pattern and stimulate connectivity between this site and the surrounding city
- forge a new visual link between Coventry Market and the Christchurch spire

## 1.4 Architectural Response

Our architectural response will be both contextual and sympathetic to the existing aesthetic inherent in the modernist buildings designed by Donald Gibson for the adjacent Upper and Lower Precincts. Where we are building adjacent to existing listed buildings particular care will be taken to acknowledge that our buildings form a new and sympathetically considered setting for them.

The arrangement of the buildings on the plots in the development will be laid out with orthogonal and rectilinear plan forms and the palette of materials used to define them will be similar to those of the adjacent Gibson stock.

While the building typology comprises largely residential apartments with many window openings and balconies, we can clearly define a hierarchy for each of the buildings

that comprises a base, middle and top and can introduce a combination of carefully considered details and materials that enhance the architectural composition in a similar and empathetic way.



Residential



Bars



Public Realm



External Dining



Markets



Retail



Competitive Socialising



Public square



Co-working

Achieving a sustainable community and development with a mix of uses





Precedent - Vertical division of the facades



Existing - The Upper Precinct and The Elephant Standard



Precedent - Waterside Park, Allies and Morrison



Precedent - Active facades



Precedent - Varied Roofscape: St Andrew's London, Allies and Morrison



1930's Coventry, displaying elements of active facades, mix of uses, varied roofscape and varied vertical division of facades.



Marks and Spencer



Lady Godiva Statue



The Lower Precinct



The Hotel Leofric



Locarno Dance Hall



Broadgate House







# 2.0

## Sitewide Development Principles

- |             |                                   |             |                                    |
|-------------|-----------------------------------|-------------|------------------------------------|
| <b>2.1</b>  | Architectural Diversity and Forms | <b>2.13</b> | Blocks B & D                       |
| <b>2.2</b>  | Active Frontages                  | <b>2.14</b> | Block E                            |
| <b>2.3</b>  | Mix of Uses                       | <b>2.15</b> | Hertford Street                    |
| <b>2.4</b>  | Scale, Height and Roofscape       | <b>2.16</b> | Market Way                         |
| <b>2.5</b>  | Materials                         | <b>2.17</b> | Access Strategy                    |
| <b>2.6</b>  | Materials                         | <b>2.18</b> | Materials and Street Furniture     |
| <b>2.7</b>  | Sitewide elevational character    | <b>2.19</b> | Accessibility                      |
| <b>2.8</b>  | Public Realm                      | <b>2.20</b> | Green Infrastructure               |
| <b>2.9</b>  | Permeability                      | <b>2.21</b> | Public Art Strategy                |
| <b>2.10</b> | Hierarchy of Spaces               | <b>2.22</b> | Existing Designated Public Art     |
| <b>2.11</b> | Public Square 1                   | <b>2.23</b> | Existing Non-Designated Public Art |
| <b>2.12</b> | Public Square 2                   |             |                                    |



# Sitewide Architectural Principles

## 2.1 Architectural Diversity and Forms

### MANDATORY

- A. The proposed buildings **must** incorporate diversity in their form, roofscape and create legible urban blocks.
- B. Building elevations **must** avoid being monolithic in appearance, using materials and architectural form to create vertical division.
- C. Balconies **must** not protrude more than two metres beyond the maximum building extent as defined by the Parameter Plans.

### RECOMMENDED

- D. Buildings **should** be simple, elegant and contemporary in appearance, using a variety of complementary materials.
- E. There **should** be clear divisions in the façade to promote verticality and variety in the building elevation, especially where there is a change in building height.
- F. Where there is an overall horizontal proportion of buildings, form and materials **should** be varied to contribute to a rich streetscape.
- G. Balconies **should** be considered to articulate façades and provide private amenity space where required.

## 2.3 Mix of Uses

### MANDATORY

- A. A reasonable separation distance **must** be maintained between two sets of windows to habitable rooms of separate residential dwellings.
- B. Where the separation distance between the windows to habitable rooms of separate residential dwellings falls below 18 metres, mitigation measures **must** be incorporated in the design to minimise excessive overlooking.
- C. The development as a whole **must** consist of a mix of uses to create a vibrant neighbourhood that supports activity during the daytime and into the evening, and to achieve active frontage at the base of buildings as shown on the Parameter Plans.

## 2.2 Active Frontages

### MANDATORY

- A. The ground floor of buildings addressing Market Way, Hertford Street and the two new public squares **must** predominantly comprise active frontage.
- B. Service frontages **must** be integrated into the principal material approach of the building.
- C. Structures covering spillout space at ground floor level, such as awnings, **must** not protrude further than three metres beyond the maximum building extent as defined by the Parameter Plans.

### RECOMMENDED

- D. Active frontages **should** address the other main connection routes and public spaces across the site.

## 2.4 Scale, Height and Roofscape

### MANDATORY

- A. The visibility of rooftop plant **must** be screened from street-level view, using setbacks and well-considered screening.

### RECOMMENDED

- B. The opportunity to incorporate green/brown roofs and renewable energy technologies including photovoltaic solar panels **should** be considered.
- C. Differentiation between base, middle and top **should** be considered. This could be achieved using different elevational materials, introducing parapet lines at upper storeys and using varied window proportions and sizes.
- D. Due consideration **should** be given to the visibility of rooftop plant from residential units at upper levels.
- E. Rooftop private amenity spaces **should** be considered. This includes consideration of setting back upper floors to provide opportunities for roof terraces.
- F. A variety of roof types **should** be considered on larger footprint buildings.

# Materials

## 2.5 Materials

### MANDATORY

- A. Material selection **must** exhibit weight, permanence and solidity on residential blocks.
- B. Material use **must** contribute to variety in the appearance of individual and groups of buildings.

### RECOMMENDED

- C. Brick **should** be considered as the default material, in a variety of tones, textures and colours, alongside stone & metal (painted, corten, steel, profiled sheeting, copper and bronze) and limited areas of render.

The precedent imagery shown here illustrates the preferred architectural material principles. Further precedent imagery is shown for Block C adjacent to the Reform Club, Section 4.

## Precedent Imagery, displaying weight permanence and solidity



**Waterside Park, Allies and Morrison**

An interesting relationship between the active ground floor and upper floors, with deep reveals and high-quality materials.



**Westkai Towers, Tony Fretton Architects**

A variety of contrasting brick bonds differentiates blocks



**Burridge Gardens, Hawkins\Brown**

This block illustrates a good degree of surface articulation and quality of materials.



**Ruby Lower Marsh Hotel, Studio Kyson**

High quality brickwork, an interesting composition of vertical blocks and set-back roofscape.



**Active frontage principles**

A blend of materials and industrial references, sympathetic to the style of the building.



**Shopfront principles**

A high quality and considered design, with a definite design statement appropriate to the style of the development.



**Lampton Road, Allies and Morrison**

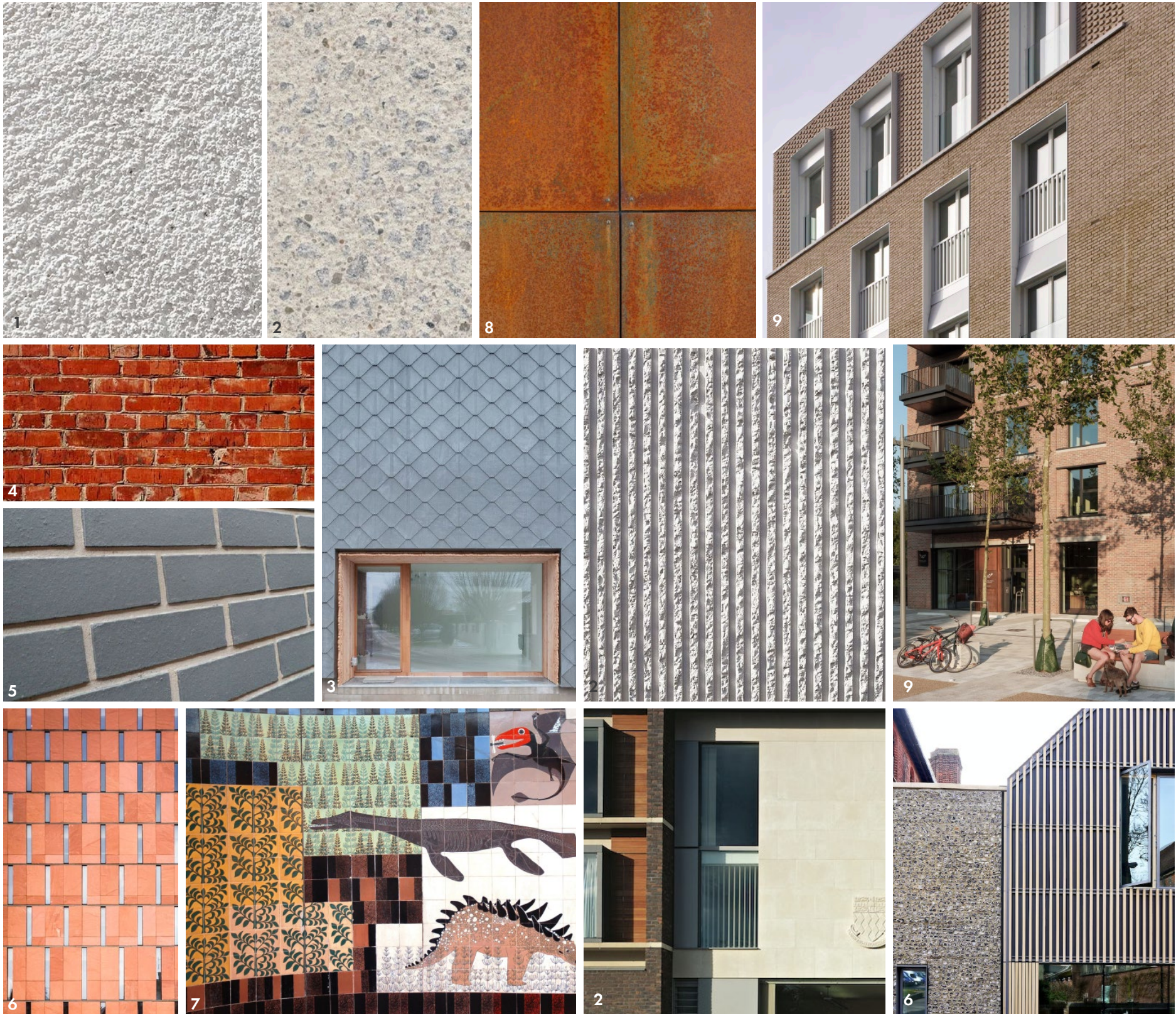
A combination of inset and projecting balconies provides subtle variation in the facade.



## 2.6 Materials

The images opposite are a palette of materials that would be complementary to the existing buildings in Coventry, to represent the industrial and modernist character of the city. These are not prescriptive or exhaustive, but give an indication of quality and approach, and are recommended.

1. Render
2. Concrete
3. Metal shingle roofing
4. Industrial red bricks
5. Engineering / blue bricks
6. Terracotta
7. Murals
8. Corten
9. Brick



Illustrative materials palette



# Examples of Sitewide Architectural Character

## 2.7 Sitewide elevational character

The following diagrams and images illustrate the elevational design principles mentioned in section 1.4.



Active/non-active frontages - precedent image. (Bankside 123 - Allies and Morrison)

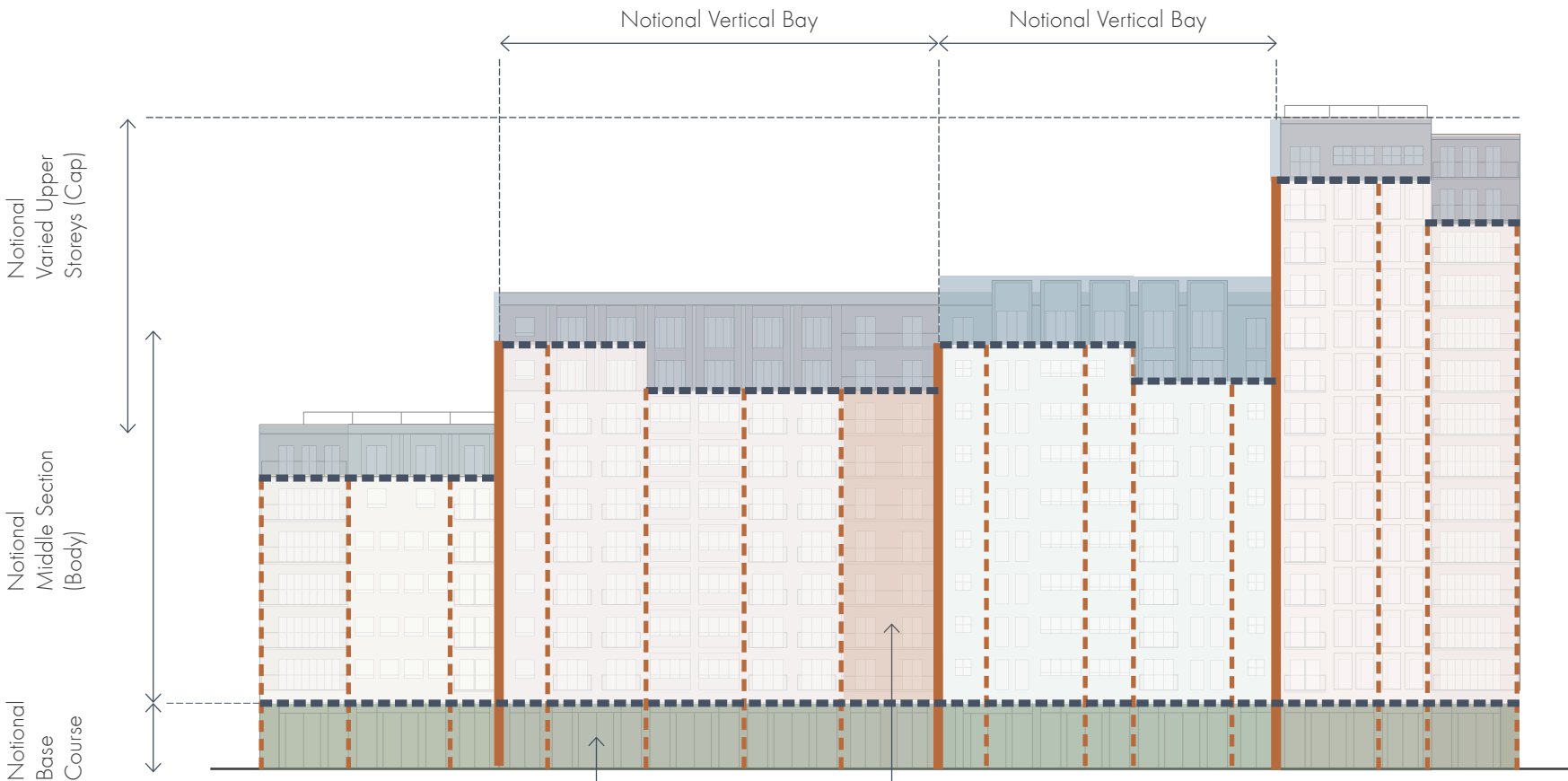


Active/non-active frontages - example image. (Hale Wharf - Allies and Morrison)

- Key
- Primary active frontage locations e.g. F&B/retail
  - Secondary active frontage e.g. residential lobby, co-working



Precedent Imagery - guidance



The material at ground floor could read as a heavier element 'supporting' the building

There could be clear divisions in the facade, particularly where there is a change in building height to articulate individual buildings

# Sitewide Landscape and Public Realm Principles - Public Realm

## 2.8 Public Realm

The public realm will act as an essential component in conveying the design quality of City Centre South. It is recognised that there is a degree of flexibility within the landscaping and public realm, and this section of the Development Principles Document is intended to provide a framework for detailed design of landscaping to be submitted in reserved matters applications.

### MANDATORY

- A. The public realm design **must** connect to adjacent areas and complement the on-going public realm improvements being delivered by Coventry City Council. This includes connectivity and materiality.
- B. Pedestrian movement **must** be prioritised within the site, but must also allow for service and emergency vehicle access on a controlled basis. The public realm proposals must contribute to the following site wide objectives:
- C. The creation of a clear and coherent framework to the organisation of the public realm through a series of high quality, well designed spaces linked by clear legible pedestrian routes.
- D. The delivery of a connected public realm including public squares and green spaces which are easily accessible through the creation of desirable and legible pedestrian routes.
- E. The creation of variety of places and spaces to cater for different needs.
- F. The encouragement of human interaction.
- G. The delivery of accessibility for all.
- H. The provision of a net gain in tree cover and green infrastructure across the site.
- I. The provision of opportunities to improve health and well-being.

### RECOMMENDED

- J. The public realm design **should** create a series of character areas with their own distinct personality.



Masterplan Overview of Public Realm Streets and Spaces

- Key
- Pedestrian Priority Zone
  - Vehicular Access Zone
  - Development Block
  - Public Square
  - 🏠 City Wide Landmark
  - 🌳 Existing Public Realm Improvement Area



# Sitewide Landscape and Public Realm Principles - Permeability

## 2.9 Permeability

The existing buildings on the site heavily restrict movement through this part of the city, with the dense urban grain and inward looking arcades limiting visibility and legibility. The priority therefore is to establish clear and legible routes (north, south, east, and west) through the site, and importantly to clarify the retail circuit back to Market Way, Upper Precinct and Broadgate. The establishment of pedestrian priority areas and spaces around the development blocks will assist in repairing the urban fabric and aid placemaking, making the city a more attractive place to be.

This improved public realm will contain a number of different spaces, some to aid pedestrian flow, some to encourage dwell-time and others to identify and reinforce connections to different parts of the city.

### MANDATORY

Visual and pedestrian linkages **must** be established along the following public realm axes:

- A. North-south between Greyfriars Road, through 'Public Square 1' and up Market Way;
- B. East-west between Rover Road along the north and south of Block E through to 'Public Squares 1 and 2';
- C. North-south between Warwick Row, through 'Public Square 2' and up Hertford Street.



Masterplan Overview of Permeable Routes

- Key
- Pedestrian Priority Zone
  - Vehicular Access Zone
  - Development Block
  - Public Square
  - City Wide Landmark
  - Existing Public Realm Improvement Area
  - Visual & Pedestrian Linkages
  - Secondary Pedestrian Route (Recommended)



# Sitewide Landscape and Public Realm Principles - Public Spaces

## 2.10 Hierarchy of Spaces

The function and character of key routes and spaces created within the development proposals must adhere to the following design principles.

### MANDATORY

- A. The development proposals **must** ensure the delivery of two new principal public squares, and pedestrian priority links. The principles of the public spaces established in the strategy below must be reinforced and enhanced during design development;
- B. Be free of clutter;
- C. Be legible and aid wayfinding;
- D. Allow for an access route for servicing, maintenance and emergency access, where required;
- E. Ensure level access into buildings;
- F. Provide step-free access to any part of the public realm
- G. Work with below-ground engineering constraints;
- H. Use high quality landscaping, including tree planting, to mitigate scale and provide shade.
- I. Enhanced soft landscape proposals, particularly along the green spine running through Hertford Street.

A hierarchy of new streets and public spaces **must** be considered as part of the development proposals including;

- J. The creation of a publicly accessible pedestrian route through Block B.
- K. The creation of a publicly accessible pedestrian route and private residential courtyard space within Block D.

### RECOMMENDED

- L. New streets and spaces **should** allow for spill out space from ground floor uses, be appointed with suitable green space and allow for emergency access including sufficient turning space for vehicles.

## 2.11 Public Square 1

Public Square 1 is a key public realm node within the development proposals anchoring both The Pavilion (Block E) and Coventry Market. The public square also functions as a transition space along the north-south route between Greyfriars Road and Market Way, and presents the opportunity for spill out functions from ground floor uses to Block A2, Block C and Block D.

### MANDATORY

The design proposals for Public Square 1 **must**:

- A. Create a well-animated, high quality public space, which integrates Coventry Market with the site;
- B. Ensure ease of movement north-south between Market Way and Lower Market Way and east-west between the Coventry Market and Square 1;
- C. Manage the level change between the Coventry Market and Block E, to ensure ease of access for all.
- D. Seek to reflect the alignment of the former City Wall, where relevant.

### MANDATORY

The design proposals for Public Square 2 **must**

- A. Be well-integrated with public realm proposals adjacent to the Wave, including the children's playground and water play proposals;
- B. Provide a flexible central area for small scale events and be considered as a key location for relocated public art.
- C. Ensure that there is sufficient space to move easily across the public realm from north-south (between Hertford Street and Warwick Row towards the station) and east-west (between Block E and the Wave).

## 2.13 Blocks B & D

### MANDATORY

- A. A publicly accessible pedestrian route **must** be incorporated within Blocks B&D.

### RECOMMENDED

- B. The public realm adjacent to Block B **should** allow for spill out functions from ground floor uses in the block to enhance the activation of the streetscape and increase dwell time.

## 2.12 Public Square 2

Public Square 2 is a key public realm node to the east of Block E and marks a key gateway point into the development for visitors arriving from Coventry railway station to the south. The public square also functions as a transition space between Block E and The Wave to the east, linking to recent public realm improvements around the Christchurch Spire. The public square presents the opportunity for activation through flexible events that may be viewed from adjacent spill out functions from ground floor uses to Block C, Block B and Block E.

## 2.14 Block E

Block E is a smaller building within the East West route from Rover Road, enabling views from Public Square 1 to the Christchurch Spire. The block functions as mediator between blocks C&D and the public realm, introducing a smaller built scale and architectural juxtaposition. The block sits centrally within the new 'Cross Street' which runs parallel to Blocks B&C, between the two public

squares. The placement of the block creates routes either side, which establishes a finer street grain in contrast with surrounding public routes.

### MANDATORY

- A. The design of block E **must** maintain clear visual connections between the Christchurch Spire and Public Square 1.

## 2.15 Hertford Street

Hertford Street forms a key north-south pedestrian route between Broadgate Square and Coventry railway station along the green spine within the city centre. Hertford Street should become a more positive part of the public realm allowing ease of pedestrian movement and increased opportunities for extending dwell time and activation from ground floor uses.

### MANDATORY

- A. Opportunities to enhance the pedestrian environment including the provision of additional green infrastructure **must** be considered.
- B. Access to existing properties and levels on the east side of Hertford Street **must** be maintained.
- C. Clear visual connections **must** be maintained along Hertford Street to promote a legible route between Public Square 2 and Broadgate to the north.
- D. Existing steep gradients and slopes **must** be avoided where possible through the integration of landscape elements and widening of the streetscape, promoting additional rest points and increasing dwell time.

## 2.16 Market Way

Market Way forms a key north-south route between Coventry Market and Smithford Way passing through Public Square 1 connecting to the wider retail circuit of the Upper and Lower Precincts. Market Way presents the opportunity to extend the public realm improvements recently implemented to Smithford Way by increasing green infrastructure and facilitating spill out functions from ground floor uses to Block A2 and Block B.

### MANDATORY

- A. Clear visual connections **must** be maintained along Market Way to promote a legible route between Public Square 1 and Smithford Way to the north.

### RECOMMENDED

- B. The public realm **should** allow for spill out functions from ground floor uses to Block A2 and Block B to enhance the activation of the streetscape.



Public Realm Spaces and Priority Links

- Key
- ↑ Green Spine
  - ← Primary Pedestrian Routes
  - ← Secondary Pedestrian Routes
  - ← Vehicle Access
  - Public Square 1 and 2
  - 🏠 City Wide Landmark
  - 🌳 Existing Public Realm Improvement Area

# Sitewide Landscape and Public Realm Principles - Access

## 2.17 Access Strategy

Vehicle access within the public realm will generally be limited to emergency vehicles, with delivery access to take place outside core shopping hours, if required. Access shall be controlled through the provision of barriers at key locations to service the public realm.

The main entry for delivery and emergency vehicles serving the public realm shall be via Lower Market Way from Greyfriars Road.

### MANDATORY

- A. The design of public realm **must** allow for emergency access to the public realm at all times. Emergency access will be facilitated to Market Way in order to service the existing public realm. Emergency access to / on Hertford Street to serve Block B is also required.
- B. Day-to-day vehicular servicing from within pedestrianised areas **must** be restricted outside peak hours of pedestrian movements.
- C. Service and delivery access **must** be maintained to Coventry Market from Queen Victoria Road.
- D. Hostile vehicle mitigation measures at gateway and entry points into the public realm for the safe protection of crowded places **must** be of a high quality design.



Access Strategy

- Key
- Potential Access Control Point
  - Emergency Access Route
  - Service Access Route
  - > Potential Restricted Service Access



# Sitewide Landscape and Public Realm Principles - Materials

## 2.18 Materials and Street Furniture

Hard landscaping will be an important element in visually and physically linking new developments with adjoining buildings and spaces as well as the wider city centre. It will be important in defining what areas are to be used by pedestrians, cyclists and vehicular users.

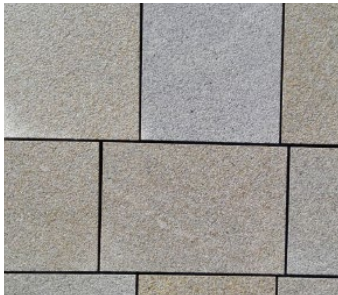
The precedent images shown illustrate typical materials that would complement the emerging public realm improvements currently being undertaken within the city centre.

### MANDATORY

- A. Materials **must** be selected for their durability and functionality as well as their appearance appropriate to the scale and use of the spaces created.
- B. The design of street furniture **must** be carefully considered to facilitate the functioning and enjoyment of the open spaces within the development.
- C. Where relevant, the design of public realm, including hard landscaping, **must** seek to reflect the alignment of the former City Wall and its historical significance in the design of soft and hard landscaping. (see note overleaf)

### RECOMMENDED

- D. The materials palette **should** reflect materials used elsewhere in the city centre, in order to contribute to a legible and distinctive city centre.
- E. The design of street furniture **should** be simple and elegant in appearance with a strong, contemporary feel that complements other street furniture being installed in the city centre.
- F. Street furniture **should** utilise a limited palette of quality materials. Consideration should be given to the suitability of the material, the resistance to vandalism and damage, the ease of repair and the maintenance of requirements.
- G. Street furniture **should** be placed to respect pedestrian flows, ensure universal accessibility and to define spaces and movement.
- H. Street furniture **should** avoid creating visual clutter.



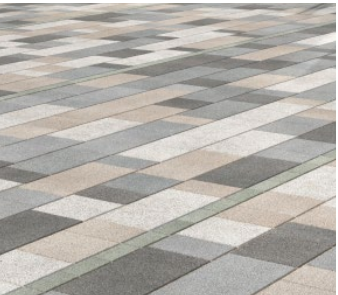
1. Warm buff/grey coloured natural stone slabs to pedestrian browse zones, public squares.



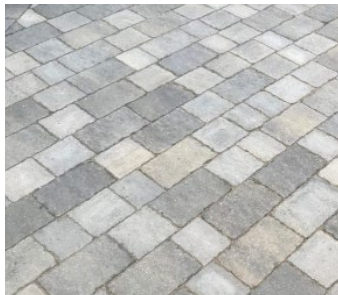
2. Warm buff/grey coloured natural stone setts to street furniture zones, dwell spaces, feature areas.



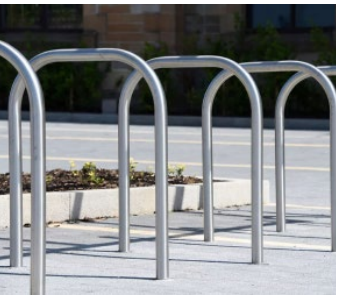
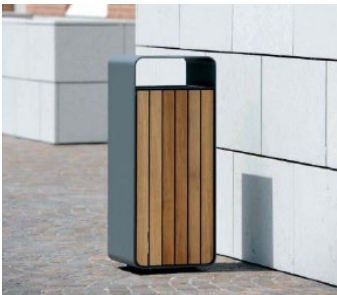
3. Warm brown/buff/grey coloured natural stone setts to express feature areas.



4. Multi-tone exposed aggregate concrete slabs and planks to secondary public realm spaces.



5. Concrete slabs and setts to highway infrastructure streets and footways.





# Illustrative Masterplan - Former City Wall



2.18 C - Opportunity to express the line of the former City Wall through Public Space 1 through interpretive text, public art. Objective: To acknowledge the line of the former City Wall, and its historic significance.



2.18 C - Approximate line of former City Wall.



Precedent example of how to express the alignment of the former City Wall in the illustrative landscape masterplan, and example of how to aid its interpretation in the public realm



# Sitewide Landscape and Public Realm Principles - Green Infrastructure

## 2.19 Accessibility

City Centre South will act as a focus for city centre living, economic growth with increased opportunities for shopping, leisure, tourist and business activity. To be successful, City Centre South must be easily accessible to its residents and visitors, regardless of their age, physical ability, where they are travelling from, and how they choose to travel. The vision is therefore to create a highly accessible and welcoming part of the city centre where people will find it easy to access, understand and move around in.

### MANDATORY

- A. The gradient of the public realm **must** manage level changes across the site sufficiently in order that pedestrians are able to cross the public realm safely and with ease, including wheelchair users.
- B. Particular attention **must** be paid to mitigate existing steep gradients on Hertford Street within the constraints of existing retained shop frontages and the Barracks Way service tunnel access.
- C. The design of the development proposals **must** be inclusive so everyone can use it safely and easily.

### RECOMMENDED

- D. The design of the development proposals **should** also have due regard to the following design principles;
- E. Be welcoming with no disabling barriers that might exclude people;
- F. Be legible to ensure ease of movement and wayfinding;
- G. Be adaptable to respond to changing needs; and
- H. Be flexible so different people can use it in different way.

- I. Seating opportunities **should** be provided to pause and dwell, including backrests and arm rests at a minimum of 50m intervals in accordance with DfT guidance on Inclusive mobility (2005).

## 2.20 Green Infrastructure

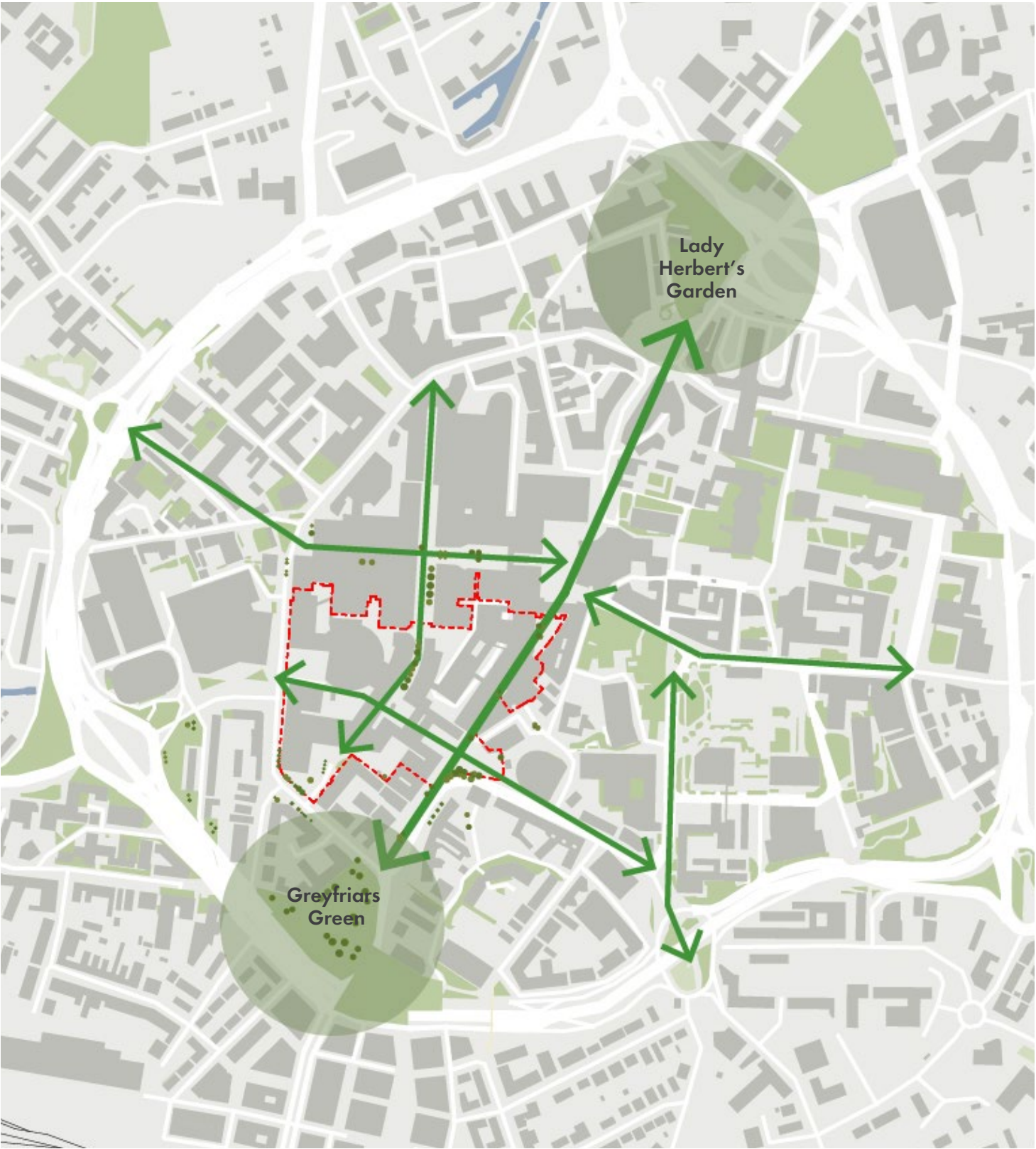
The term green infrastructure refers to a strategic network of green spaces, such as trees, parks, amenity landscaping, green roofs and the links between them. Coventry enjoys the benefit of many attractive parks and gardens, including Greyfriars Green to the south of the development site and green spaces around the Cathedral Precincts and Lady Herbert's Garden to the north.

### MANDATORY

- A. Green infrastructure **must** be incorporated in the development, including consideration of the following objectives in green infrastructure design;
- B. Improvements to existing pedestrian and cycling routes;
- C. The enhancement of existing public spaces;
- D. The provision of new public spaces and pedestrian routes;
- E. To increase the overall quantum of green space within the city centre, including the retention of existing trees where possible and providing new tree planting to enhance the creation of new streets and public spaces.

### RECOMMENDED

- F. Consideration **should** be given to the provision of green, brown and blue roofs across the development site, where appropriate to increase habitat creation and biodiversity within the site.



Green infrastructure Links in Wider City Centre



# Sitewide Landscape and Public Realm Principles - Public Art

## 2.21 Public Art Strategy

Coventry city centre has a strong legacy of public art, particularly from the post war period where public art formed an integral part of the redevelopment of the city. It is an important element in defining the character and identity of the city. To build on this legacy, public art will be encouraged to be incorporated into buildings and public spaces.

The development proposals shall consider the use of public art as integral part of the design of public streets and spaces. Opportunities include;

- Specific locations such as squares, streets, walls, buildings, level changes, focal points and gateways for the placing of individual pieces.
- The design of landscape elements, such as paving, water features, street furniture, railings and signage, which would gain individuality from the involvement of an artist.
- The design of infrastructure elements, such as street and feature lighting, to which an artist would bring an extra layer of individuality.

It is anticipated that works of art, both passive and interactive, will enliven the urban landscape. They will become attractions in their own right, characterise individual spaces within the area and create visual and tactile links between disparate parts of the area. Works will be commissioned within a unifying theme, but will retain sufficient individuality to promote the legibility of the urban spaces

### MANDATORY

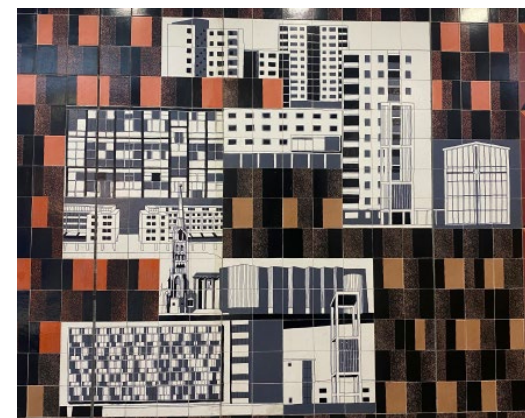
- A. Public art **must**, where appropriate, form an integral part of the design process of any future development proposals.



Peeping Tom (By Unknown Artist)



The Three Tuns mural by William Mitchell



Mural by Gordon Cullen



Thread Through Time by Robert Conybear and Uta Molling



Self Sacrifice (Lady Godiva) by William Reid Dick



Phoenix statue by William George Wagstaffe



2.22 Existing Designated Public Art

The Three Tuns Mural by William Mitchell is a Grade II listed heritage asset, which is proposed to be relocated within City Centre South, or adjacent to the site. For further detail, refer to the Townscape, Heritage and Visual Impact Assessment chapter of the Environmental Statement.

MANDATORY

A. The Three Tuns Mural (‘the Mural’) **must** be relocated to a prominent location within or close to the CCS site, which preserves and enhances its significance.

- Three potential options have been identified for the Three Tuns Mural (‘the Mural’), which demonstrate most or all of the relocation criteria set out at Part B:
- **Option 1:** Warwick Row elevation of Block C.
  - **Option 2:** Location within Public Square 1 in protective casing.
  - **Option 3:** Block B adjacent to Market Way.

The final location is subject to detailed design, to be incorporated in a reserved matters application pertaining to the relevant development phase.

Prior to the selection of the final end location, appropriate public consultation must be undertaken to help to inform the final end location. This must include relevant heritage and amenity stakeholders and local residents and businesses.

- B. The Mural **must** be located to a prominent location where:
- The proposed location enables a visual relationship between the Mural and the post-war architectural elements of Coventry’s townscape, such as Coventry Market and Broadgate House;
  - The proposed location enables both elevations of the Mural to be experienced;
  - The proposed setting of the Mural enhances its significance as a heritage asset; and,
  - The proposed location is suitably sheltered to protect the long-term integrity of the Mural. Where it is not technically feasible to meet all of the above, the applicant **must** demonstrate how the proposed location preserves and enhances the Mural’s significance.

RECOMMENDED

C. The Applicant **should** implement a lighting scheme which enhances the public’s experience of the Mural.



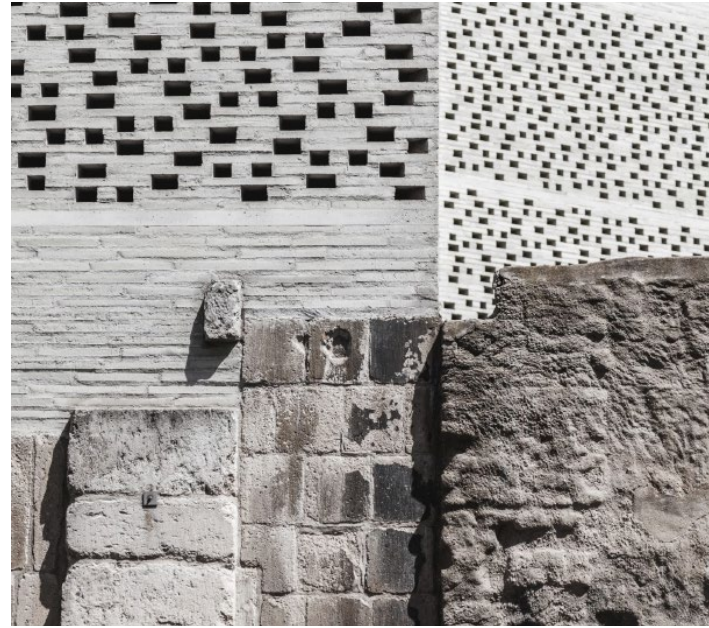
Illustrative locations for the Three Tuns Mural

- Key
- Pedestrian Priority Zone
  - Vehicular Access Zone
  - Development Block
  - Potential Mural Locations
  - Public Square
  - 🏠 City Wide Landmark
  - 🚶 Existing Public Realm Improvement Area





Example of integrated existing structure, Kolumba Museum, Koln



Example of integrated existing structure, Kolumba Museum, Koln



Example of integrated existing structure, Kolumba Museum, Koln



Three Tuns Mural



Three Tuns Mural



Example of integrated existing structure, Vilanova de la Barca Church



2.23 Existing Non-Designated Public Art

In addition to the designated Three Tuns Mural, there are a number of non-designated pieces of public art, which are important features of Coventry’s public art heritage.

For further detail, refer to the Townscape, Heritage and Visual Impact Assessment chapter of the Environmental Statement.

- A. The Phoenix sculpture by George Wagstaffe
  - The asset **must** be relocated to a prominent location in the public realm within or in close proximity to the CCS site, in order to maintain or enhance the significance of the asset.
- B. Sir Guy and the Dun Cow Relief
  - The asset **should** be relocated within or in close proximity to the CCS site.
- C. Thread Through Time sculpture by Robert Conybear and Uta Molling
  - The asset **must** be relocated to a prominent location in the public realm within or in close proximity to the CCS site, in order to maintain or enhance the significance of the asset.
  - The asset’s association with Bull Yard **should** be commemorated in the new location.
- D. Peeping Tom Wood Carving: The asset **should** be relocated to a prominent location within or a close proximity to the CCS site. In the event that a more suitable alternative location within Coventry city centre is proposed, the alternative location and timescale for delivery **must** be agreed with the Local Planning Authority.

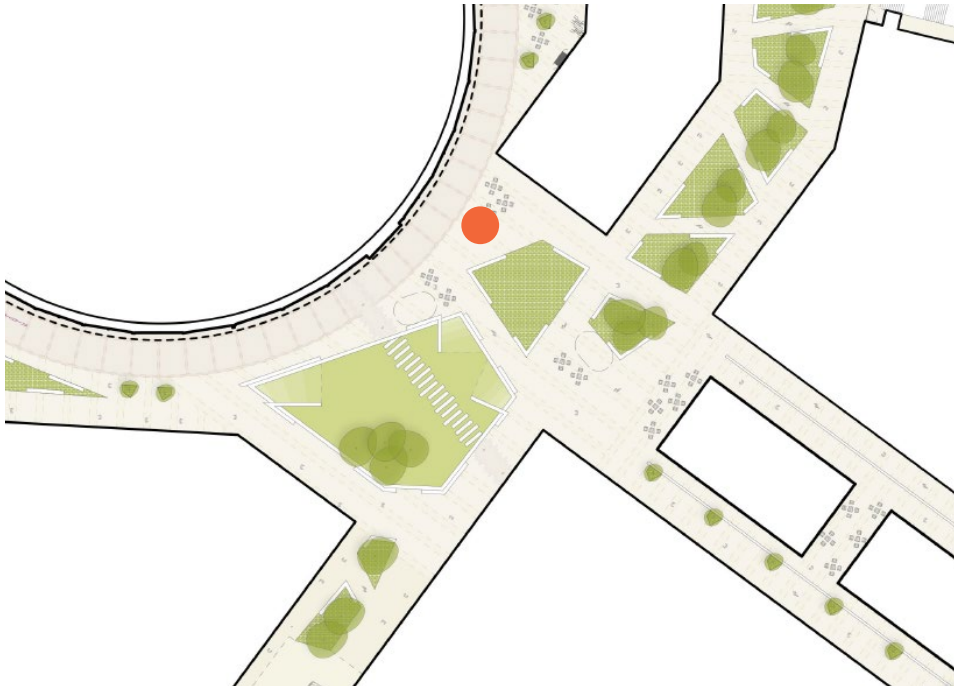
- E. Consideration **should** be given to the relocation of the Two Tone and Shelton Square plaques in closest possible proximity to the geographic location from which they originate. Where the direct re-use of the original plaque(s) is not feasible, the details which they commemorate **should** be recorded on an information panel accessible in the public realm.
- F. The incorporation of a sample of the following existing architectural elements in the proposed development **must** be considered:
  - William Mitchell fibreglass decorative panels on Hertford Street; and,
  - Concrete panels to rear of 26-48 Hertford Street.Refer to Existing Public Art Assets diagram for existing locations. To be read in conjunction with the Townscape, Heritage and Visual Impact Assessment in Environmental Statement Volume III.



Thread Through Time by Robert Conybear and Uta Molling



Phoenix statue by William George Wagstaffe

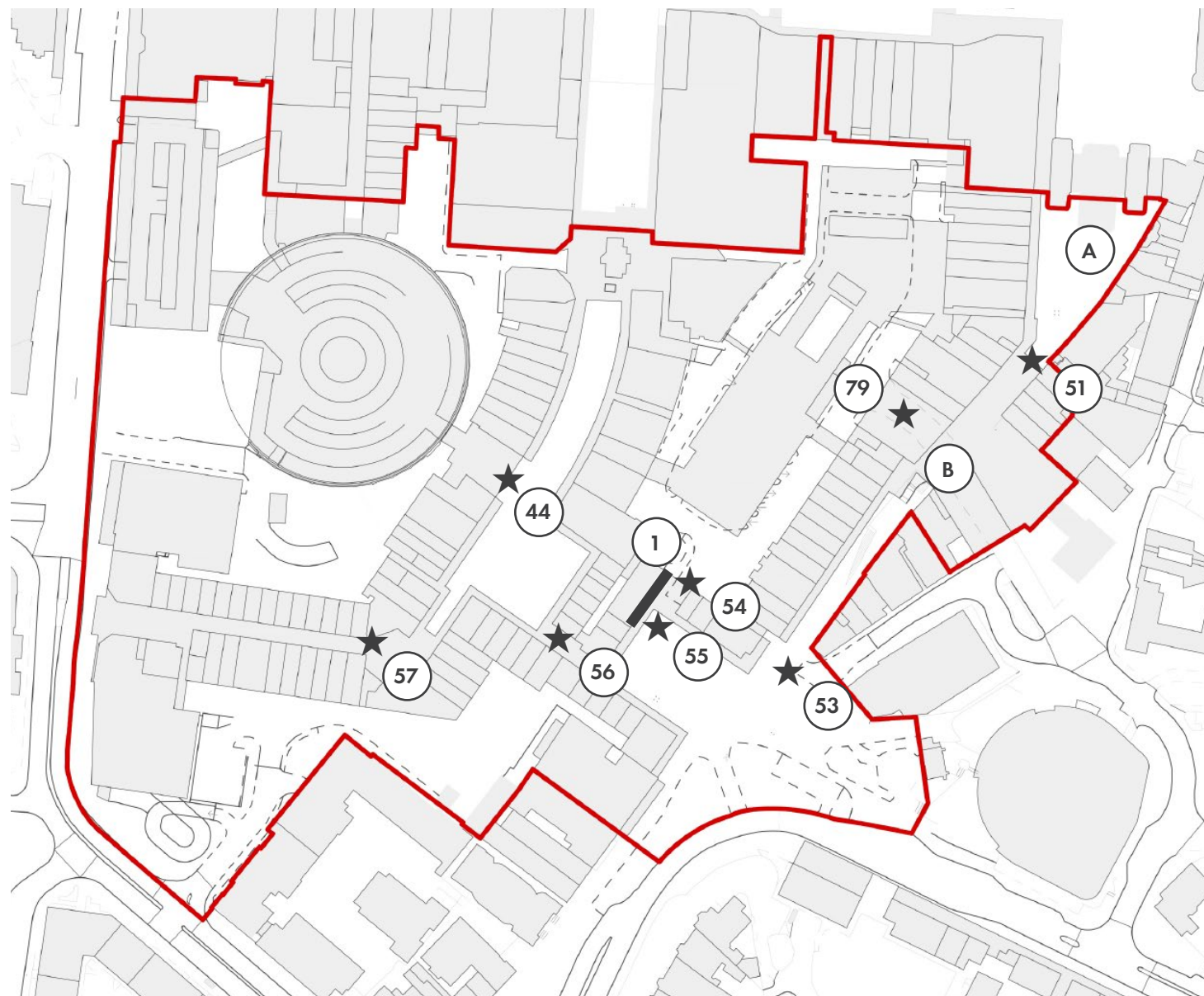


The Thread Through Time sculpture to be relocated. The dot above represents an indicative location.



The Phoenix sculpture to be relocated. The dot above represents an indicative location.

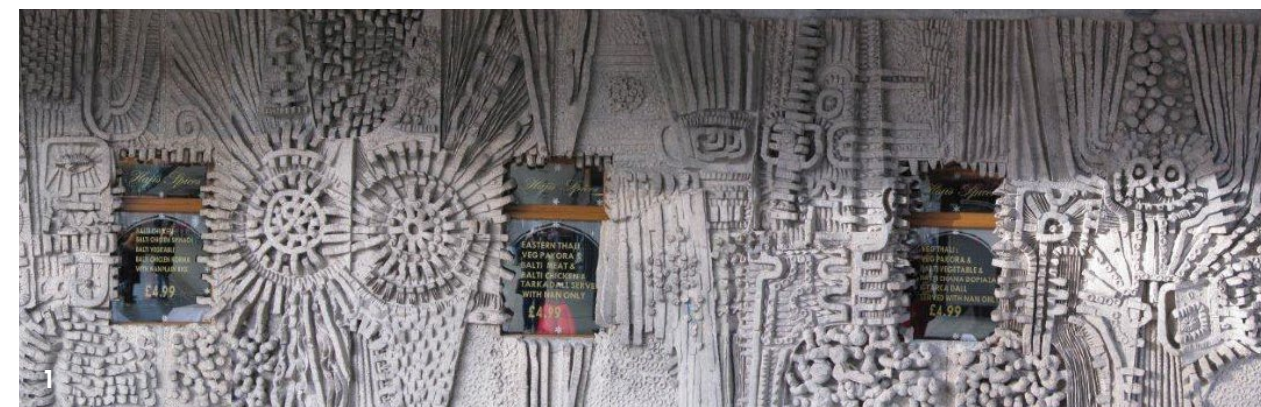
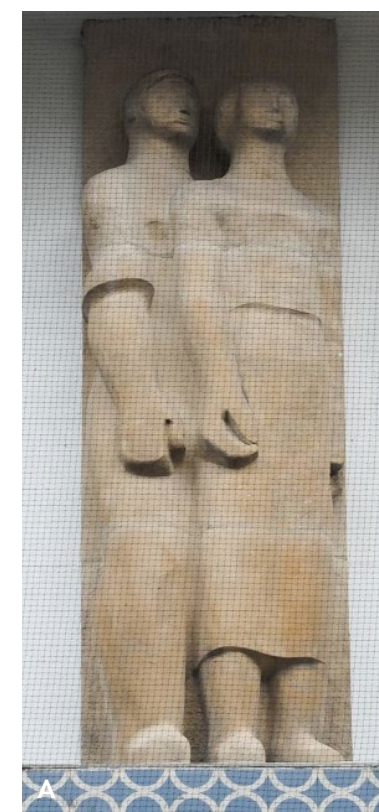




Existing Public Art Assets (Extract from Townscape, Heritage and Visual Impact Assessment)

#### List of Existing Public Art Assets

- |           |   |           |   |
|-----------|---|-----------|---|
| <b>1</b>  | Three Tuns Mural (Grade II Listed).       | <b>56</b> | Sir Guy and the Dun Cow relief, Shelton Square.     |
| <b>44</b> | Shelton Memorial Plaque.                  | <b>57</b> | 2 Tone plaque, City Arcade.                         |
| <b>51</b> | Peeping Tom, Herford Street.              | <b>79</b> | 'The History of Coventry Mural' by William Mitchell |
| <b>53</b> | The Phoenix sculpture.                    | <b>A</b>  | 'The People of Coventry' Broadgate House            |
| <b>54</b> | Late 20th Century bollards in Bull Yard.  | <b>B</b>  | William George Mitchell - Panels                    |
| <b>55</b> | Thread Through Time sculpture, Bull Yard. |           |   |











## 3.0

# Blocks A1 and A2

- 3.1 Coventry Market - Description
- 3.2 Former Woolworths Building - Description
- 3.3 Illustrative Elevational Treatment
- 3.4 Block A1 - Specific Development Principles
- 3.5 Block A2 - Description
- 3.6 Block A2 - Specific Development Principles



# Existing Context - Coventry Market

## 3.1 Coventry Market - Description

Blocks A1 and A2 sit immediately adjacent to Coventry Market, The aim to enhance the setting of the Grade II listed Retail Market has informed the development principles for Blocks A1 and A2.

Coventry Market is circular concrete structure with a radial internal layout of pre-cast v-shaped columns built over a pre-cast blade wall basement. The presence of a parking deck on the roof makes it a unique design and is likely to be one of the major contributing factors of its listing.

The building is relatively low within its surrounding context, and whereas the majority of the existing facade faces onto service yards, it is this circular run of facade that is its main feature within the urban design.

### 3.1.1 Materials and Design

The external appearance is a simple infill of either brick walls, glazed entrances or service access within the concrete frame, with single-glazed glass panels at the clerestory level.

At the roof deck, the existing timber balustrade is in process of being bolstered by an independent railing fixed to the concrete structure, as part of a separate application.

There is a missing quadrant adjacent to Rover Road which can be seen as a factory building overleaf. It should not be necessary to replicate the circular form of the building within this space, the rectangular shape having been part of the original design.

### 3.1.2 Key Design Principles

Any proposed design adjacent to Coventry Market should respect the fact that the building is unique in form and detail, and should not be referenced in pastiche so as not to challenge or reference its unique character.

The building should be given an appropriate amount of space to be able to maintain servicing, and any access to basements maintained.

As a piece of urban design, it is its circular form that should be celebrated, with a modest amount of space allowed between it and any taller building. If possible the main entrances should face onto a public space to retain its commercial position within the City.



Coventry Market - Internal Layout



Coventry Market - Basement Under Construction



Coventry Market - Historic Photo



# Existing Context - Coventry Market



Coventry Market - Existing Aerial View (Google Earth)

----- Ramps to be demolished



Coventry Market - Existing Photo, South Entrance



Coventry Market - Existing Photo, East Entrance under the ramp to be demolished



Coventry Market - Historic Photo



Coventry Market - Historic Photo (Illustrating a 4-5 storey building on the site of Block A1)



Coventry Market , Current Photos





# Existing Context - Former Woolworths

## 3.2 Former Woolworths Building - Description

The following text is taken from the Historic England Listing document, dated 23 Mar 18:

*A department store and parade of shops, designed and built for Woolworth by their staff architect, Harold Winbourne in 1952-1954.*

The former Woolworths Building, Smithford Way, is listed at Grade II for the following principal reasons:

- The store is a prominent part of the pedestrian Precinct development in Coventry, the first such planned development in England;
- As a clear assertion of the spirit of the vibrant and re-born city of Coventry after the damage which it suffered in the Second World War.

### 3.2.1 Design and Materials

The store is an example of a post-war commercial building which has clear group value with the other structures of the Upper and Lower Precinct in Coventry including Broadgate House (Grade II).

The form is a simple box-like structure of brick and concrete frame, with small punched openings at the upper level, shopfronts along Market Way and partially along the southern facade adjacent to the Market.

Whereas the design is simple, functional and well-ordered its proportions and detailing are not exceptional. It is its form within the group of buildings forming Market Way that gives it prominence within the City, and heritage value.

### 3.2.2 Key Design Principles

The urban context of the building is what is important to respect and accommodate. Therefore any adjacent structures should pay note to the scale, height and massing of the building and if higher, step away at increments with lower parts sitting next to it. The windows on the southern facade should not be unreasonably blocked, access to servicing maintained, and the prominence of the active shopfront facades onto Market Way maintained.



Coventry Woolworths - Current Condition (Google Earth)



Coventry Woolworths - Current Condition



Coventry Woolworths c 1961 - source, Coventry Telegraph



Coventry Woolworths c 2008 - source, Gammie E



Coventry Woolworths - Now occupied by Poundland



# Block A1

## Block A1 Description

A small-scale block, intended to have primarily commercial uses at ground floor, and a simple shaped upper mass responding to the low level market. The Land Uses Parameter Plans allow possible residential and/ or hotel use to be brought forward in Blocks A1 & A2, with an active frontage maintained at ground level comprising potential mixed uses include retail and leisure.

The Maximum and Minimum Heights Parameter Plans allow for a lower building element to the rear of Block A1 adjacent to Coventry Market, with a view to accommodating an outdoor terrace.

As Block A1 is situated adjacent to the Lower Precinct Multistorey Car Park ('MSCP'), the relationship between Block A1 and the neighbouring MSCP will need to be carefully considered in terms of noise, air quality and the amenity of the building occupiers.

## 3.3 Illustrative Elevational Treatment

The illustrative elevations opposite illustrate how elevational treatment and fenestration could be designed to reflect the design principles for Block A1.

### Massing Principles

The 'Layout' of Block A1 has been provided on drawings for approval, therefore this section sets out block specific principles to be reflected in the reserved matters application for 'Appearance', 'Access', 'Scale' and 'Landscaping'.

## 3.4 Block A1 - Specific Development Principles

**MANDATORY**

A.

The junction between Block A1 and the Market **must** be clean, to ensure the Market remains legible as a standalone building.

B.

Where the separation distance between the windows to habitable rooms of separate residential dwellings of Block A1 and Block D falls below 18 metres, mitigation measures **must** be incorporated in the design to minimise excessive overlooking.

C.

In the event that the existing ramp to the Coventry Market basement is closed, the design of Block A1 **must** incorporate a new replacement basement access or an alternative means of servicing must be agreed.

**RECOMMENDED**

D.

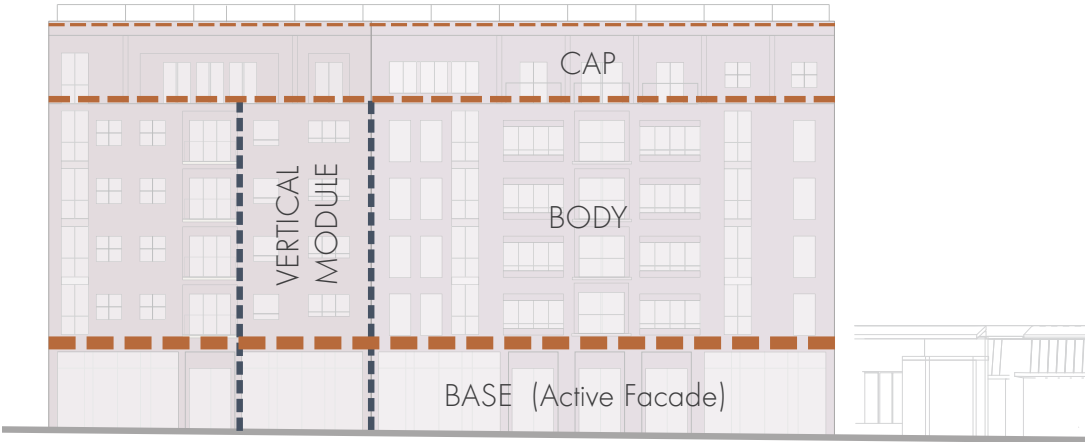
The building terrace adjacent to Coventry Market **should** be considered as a location for rooftop amenity space.

E.

The entrance to the Coventry Market basement **should** not be dominant in appearance and **should** be designed to tie in with the lower pediment of the building façade.



Block A1 Location



Flat elevation of Block A1 along Rover Road. The facade could include differentiation between the base, body and top, with a vertical division. The material here is brick, but could equally be designed with render or stone to give a feeling of solidity and permanence.



# Block A2

## 3.5 Block A2 Description

### Layout and uses

At ground level, A2 could include retail use, with food and beverage to the south onto the public space. Residential access could be provided from Market Way, along with means of escape and cycle storage. Above, the Parameter Plans permit the building to rise to approximately seven levels of residential. Servicing is provided off the street at-grade.

### Appearance and materials

In elevational terms the block should be considered so that heights step down from south to north to respect the height of the existing Woolworths building in elevation.

The placement of Block A2 will involve the removal of the eastern ramp to the roof of the existing market, which is described in the listed building application drawings.

## 3.6 Block A2 - Specific Development Principles

**MANDATORY**

A.

The façade of the residential component facing the Former Woolworths Building **must** safeguard privacy and amenity of accommodation in the upper storeys of the Former Woolworths Building.

B.

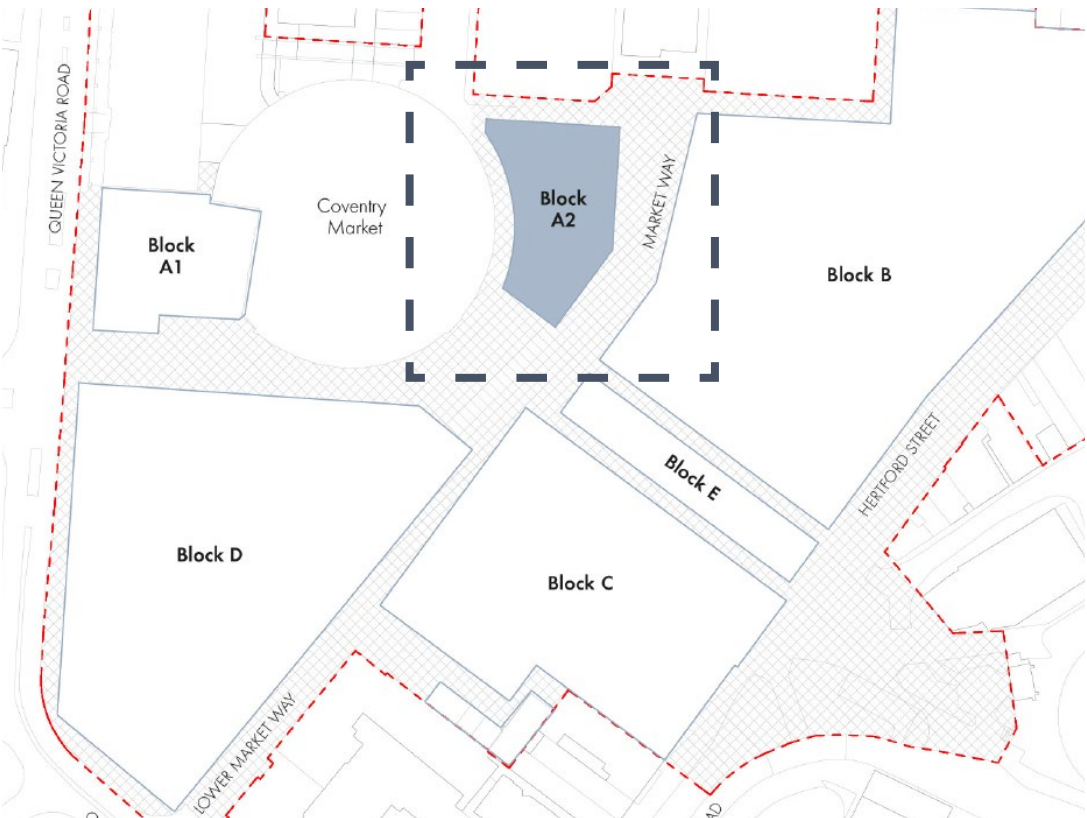
The ground floor elevation facing Coventry Market **must** incorporate elevational design features that contribute positively to the streetscape.

C.

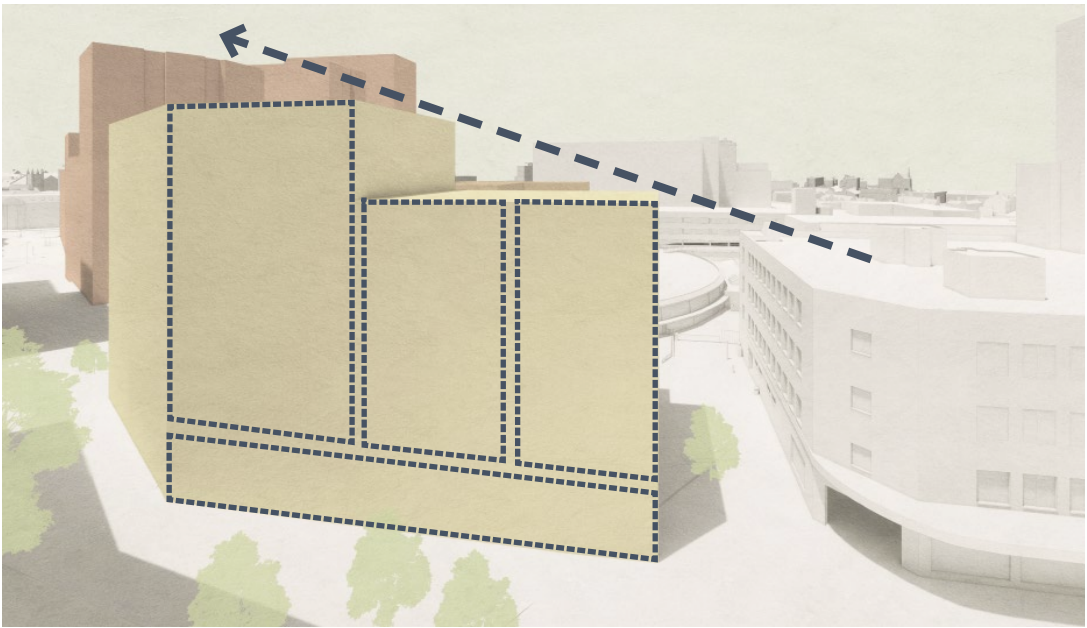
The building **must** positively address the pedestrian walkway between Block A2 and the Former Woolworths Building at ground floor level.

D.

The massing of the building **must** respectfully transition from the lower height of the Former Woolworths, up towards the new public square.



Block A2 Location



Illustrative view looking over the Market facing west. This view illustrates how the stepping up away from the former Woolworths building (principle 3.6 D) could be articulated.







# 4.0

## Block B

- 4.1 Broadgate House - Description
- 4.2 BHS - Description
- 4.3 Block B Specific Development Principles



# Existing Context - Broadgate House

## 4.1 Broadgate House - Description

Broadgate House was a key element, and one of the first buildings to be constructed of Gibson's highly influential and pioneering plan for post-war reconstruction of Coventry. The building has a number of features that designate it as a listed building, namely:

**Architectural interest:** It is a bold composition with dense massing and an emphasis on the horizontal, and is deliberately low-rise to respect the surroundings and the vista towards the cathedral tower. It embodies the progressive architectural ideology of the era, rejecting styles of the past and drawing on Corbusian principles.

**Materials:** Broadgate House comprises imaginatively combined materials to produce a muted, concordant arrangement and exhibits the limited palette of the Festival of Britain style.

**Innovation:** The suspended restaurant block above Hertford Street, hung from the upper storeys, demonstrated structural ingenuity and imagination.

**Artistic interest:** There is large quantity of good-quality external and internal artwork by notable artists. Of particular interest are the sculpture and mosaics.

**Group Value:** It has strong group value with the listed Lady Godiva statue and the Natwest Bank. Additionally, it dictates the distinctive style and character of its setting in the heart of the city.

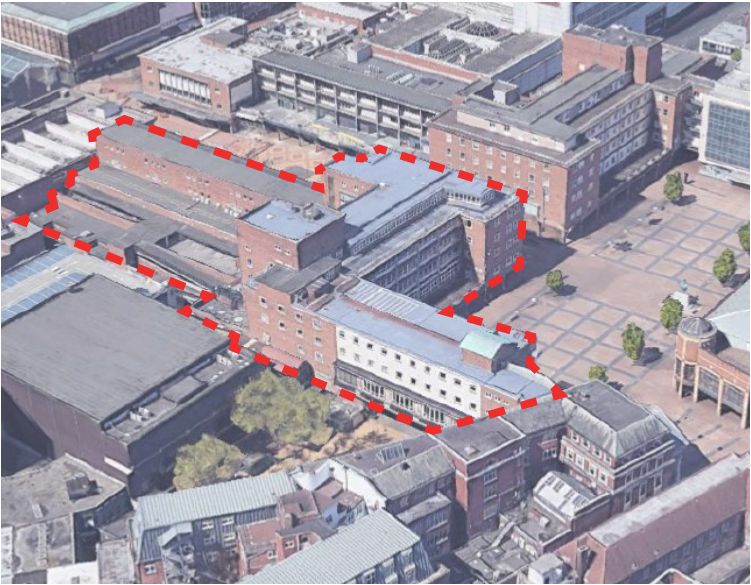
### 4.1.1 Design and Materials

As a form, relevant to any proposals within this scheme, it represents a simple brick flank wall with small punched windows, and is of a certain height.

Therefore the complexity and quality of the building described above, is largely secondary to the way that new proposals abutt it.

### 4.1.2 Design Principles

New buildings adjacent to Broadgate House should allow light into the upper windows, and respect the linear form running parallel and then perpendicular to Hertford Street.



Broadgate House aerial view from south east (google earth)



Broadgate House (left) on the entrance to the Upper Precinct



Broadgate House - the original bridge restaurant over Hertford Street



Broadgate House view from Hertford Street



The Lady Godiva Clock



# Existing Context - BHS

## 4.2 BHS - Description

Block B sits immediately adjacent to both Broadgate House and the former BHS. The former British Home Stores and Dolcis, now Carphone Warehouse building, of 1951-1955 by George Coles and Ellis Somake, is listed at Grade II for the following principal reasons:

**Architectural interest:** the building is an example of a post-war commercial building which has clear group value with the other structures of the Upper and Lower Precinct in Coventry, including Broadgate House.

**Historic interest:** the building is a prominent part of the pedestrian Precinct development in Coventry.

### 4.2.1 Design and Materials

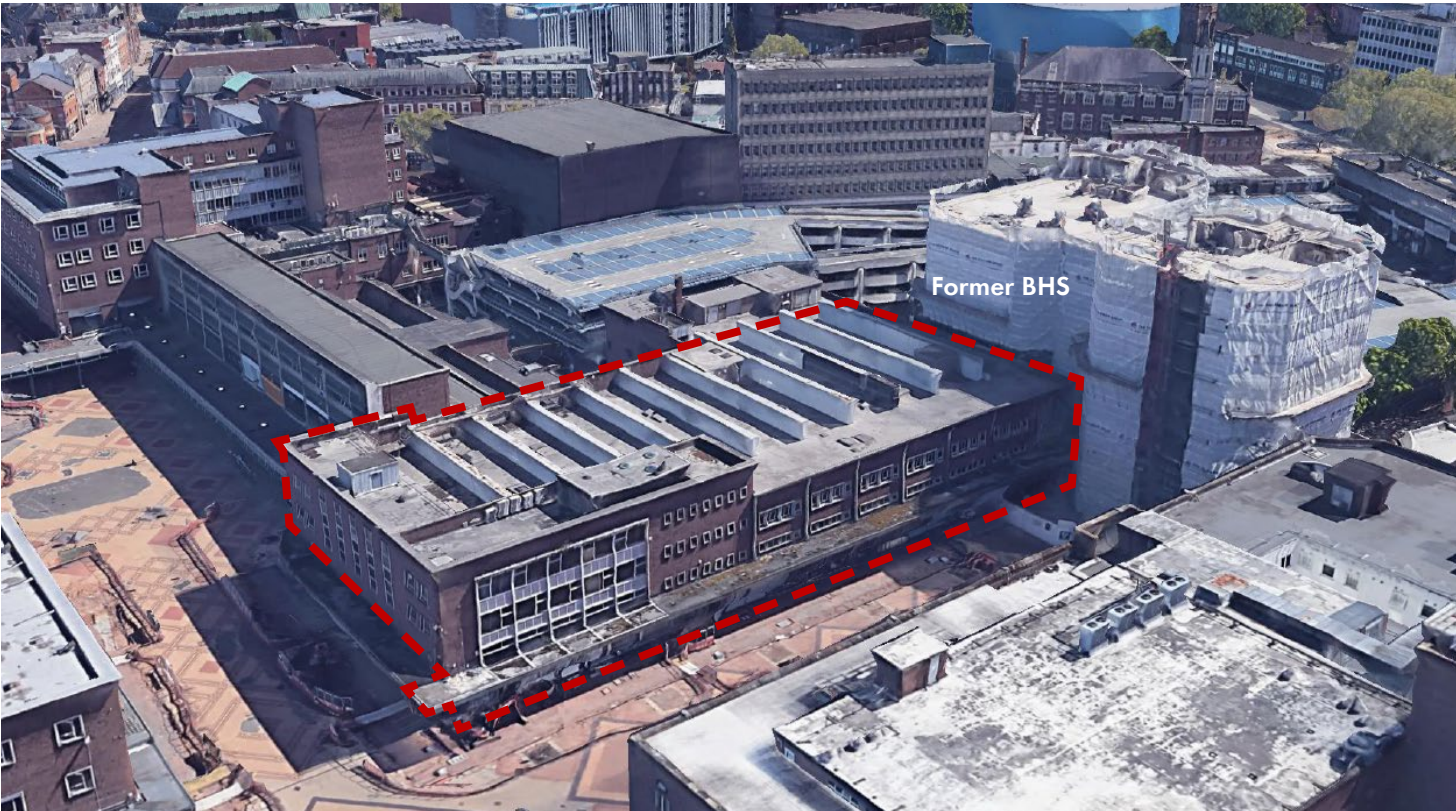
The store is an example of a post-war commercial building which has clear group value with the other structures of the Upper and Lower Precinct in Coventry including Broadgate House (Grade II).

The form is a simple box-like structure of brick and concrete frame, with small punched openings at the upper level with shopfronts along Market Way.

Whereas the design is simple, functional and well-ordered its proportions and detailing are not exceptional. It is its form within the group of buildings forming Market Way that gives it prominence within the City, and heritage value.

### 4.2.2 Key Design Principles

The urban context of the building is what is important to respect and accommodate. Therefore any adjacent structures should pay note to the scale, height and massing of the building and if higher, step away at increments with lower parts sitting next to it. The windows on the southern facade should not be unreasonably blocked, access to servicing maintained, and the prominence of the active shopfront facades onto Market Way maintained.



BHS aerial view from south east (google earth)



Former BHS - now Carphone Warehouse (Left)





# Block B

## 4.3 Block B Specific Development Principles

The massing of Block B within the parameter plans is a single block, intended to be carved into discrete elements during design development at reserved matters stage.

### MANDATORY

- A. The diagrams here represent Illustrative potential solutions within the block massing and perimeter. They are not exhaustive or specific to any one solution.

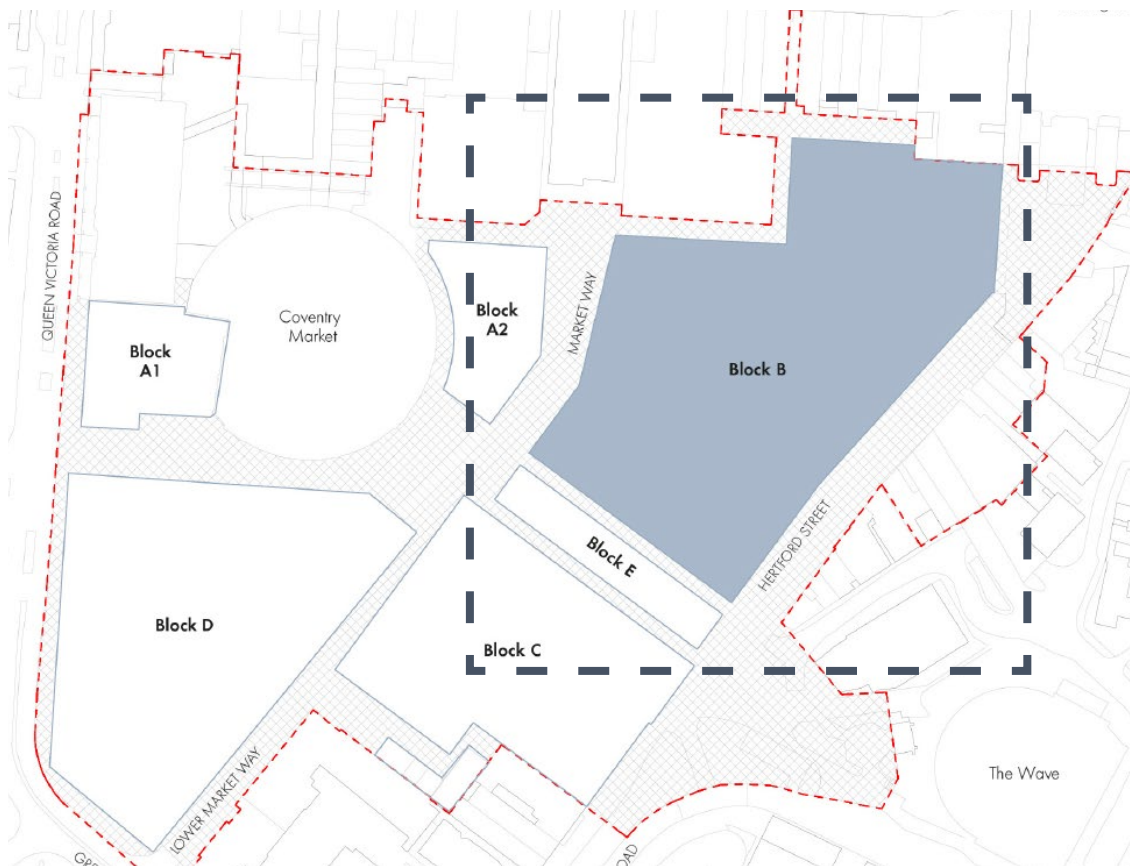
The principles are as follows:

- B. The urban block **must** contain a central space or courtyard.
- C. The block **must** be a positive urban mass. i.e. There must be a blend of articulation in the facades and well considered elevational design.
- D. The block **must** contain at least 3 breaks in the massing, which could be achieved with full or partial height openings, changes to the façade articulation and careful placement of private amenity space.
- E. **Must** conform to active edge requirements, so parking podiums at ground floor must not be placed where an active edge is required.
- F. The massing of the building **must** respectfully transition from the lower height of the Former British Home Stores, up towards the Pavilion.
- G. Any access off Market Way into the Block B service yard **must** be appropriately secured and attractively screened, to prevent public access to the service yard.
- H. The massing of the building **must** consider set backs from Broadgate House.

- I. Any access off Hertford Street into the Barracks Way service yard **must** be appropriately secured and attractively screened, to prevent public access to the service yard.
- J. The façade design for blocks facing Market Way **must** be carefully articulated in order to manage transitions in scale. This could be achieved with one or more of the following strategies: a setback to the upper floors, inset balconies, terraces, and changes to material use and fenestration.

### RECOMMENDED

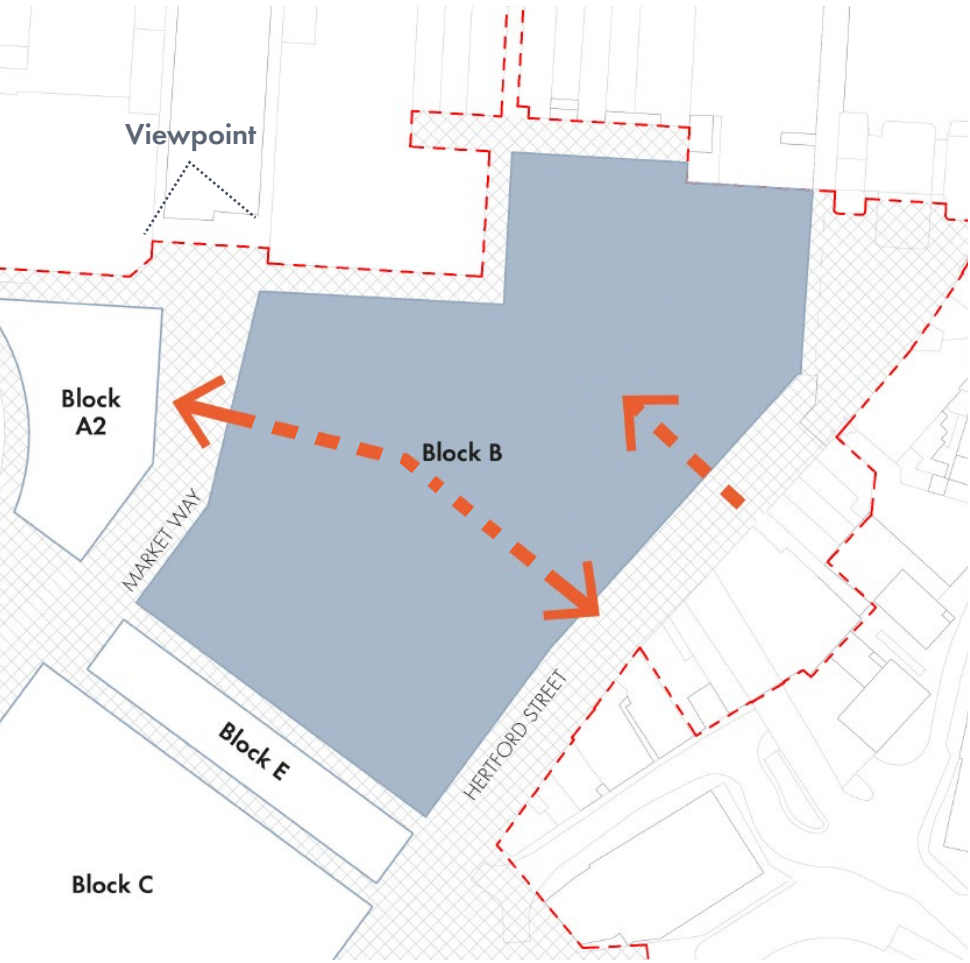
- K. The principles outlined in the Landscaping section of this document **should** be considered, to ensure high quality public realm and landscaping within any courtyard created, and the use of biophilia should be considered.
- L. The building step back adjacent to the former BHS **should** be considered as a location for rooftop amenity space.
- M. The Market Way elevation of Block B **should** be broken down using fenestration and materials to articulate variety.



Block B Location



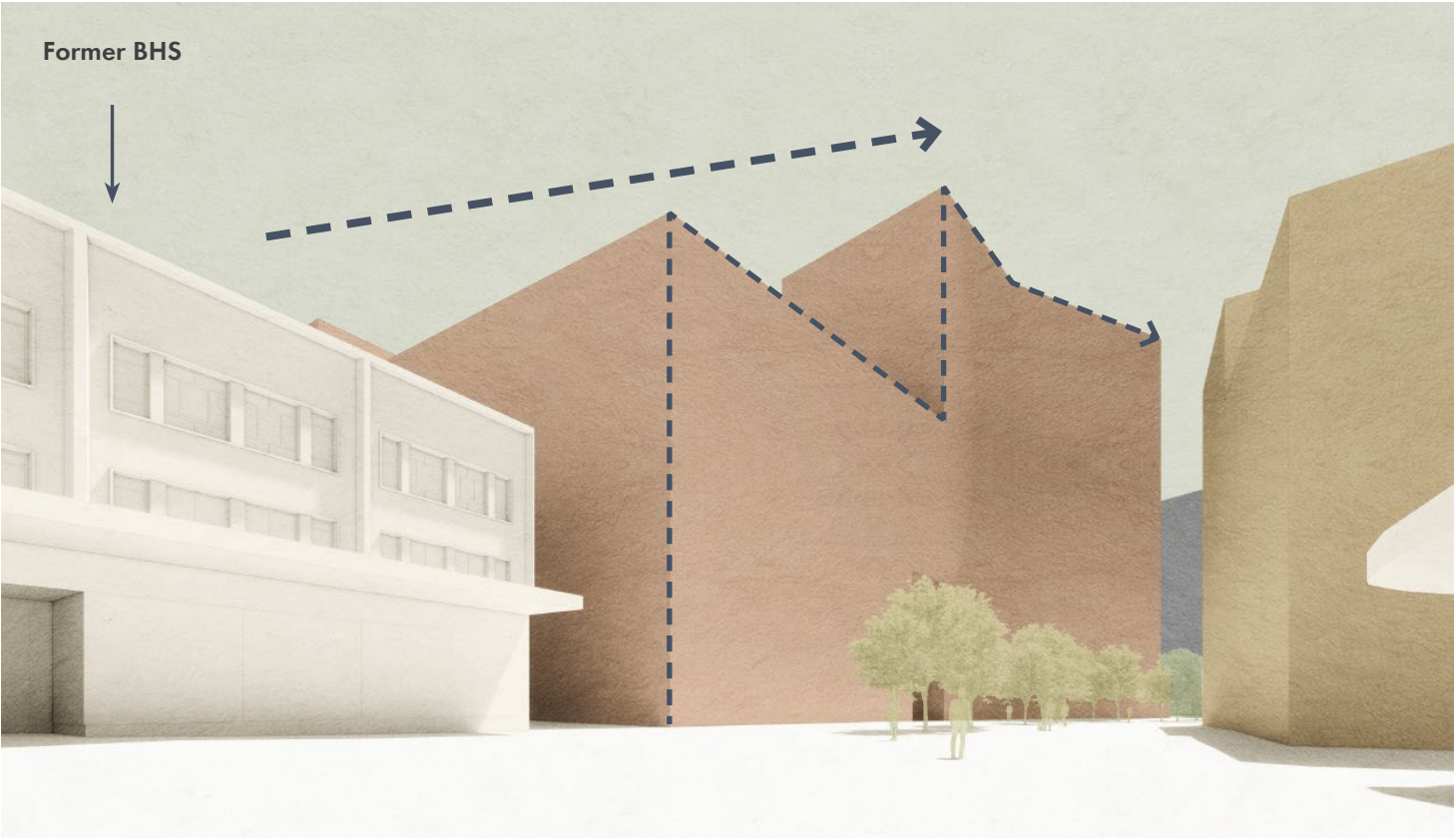
# Block B



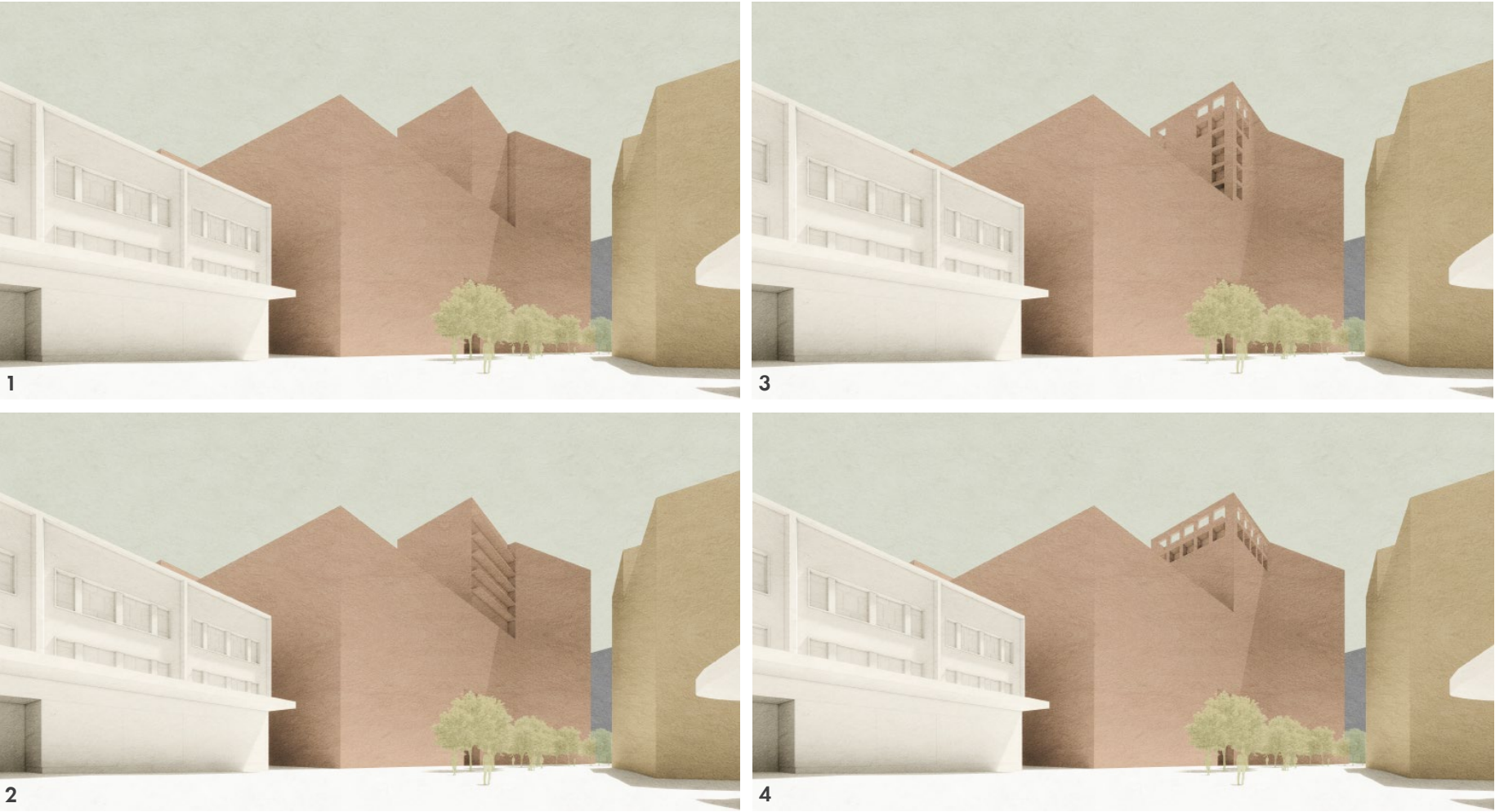
Illustrative Massing Example

- Key
- - - ➔ Break in the block massing

- Illustrative views of possible strategies for articulating the transition in scale along Market Way:
- 1. Upper floors inset
  - 2. Continuous inset balconies
  - 3. Articulated corner - using inset balconies and terraces
  - 4. Articulated top floors - using inset balconies and terraces



Illustrative elevation along Market Way, showing the recommended stepping along the street, away from the low height of BHS







# 5.0

## Block C

- 5.1 The Reform Club - Brief History
- 5.2 Context and Visual Setting
- 5.3 Design and Materials
- 5.4 Block C - Specific Development Principles
- 5.5 Precedent Imagery for Block C



# Block C - Existing Context

## 5.1 The Reform Club - Brief History

The Reform Club is a private member's club, based in Pall Mall London, originating in its political affiliation to the Liberal/Whig parties. It has since become a purely social membership for men and women. The national club was originally set up in 1836 by Edward Ellice, MP for Coventry and Whig Whip.

The Coventry Reform Club is sited at 5 Warwick Row, Coventry. Originally built as a 19th century house, it was altered to accommodate the city Reform Club from c1890-1972. It lies within the Greyfriars Green Conservation Area and was listed in 1955 as follows:  
*Completed 1820. Premises since 1889 of the Reform Club, founded 1883, disbanded 1972. Previously a private residence. Neoclassical style town house in red brick. 3 storeys, 5 sash windows in reveals, central architrave surrounds. Stone Roman Doric porch with coupled columns, entablature. Modillion bracket cornice. No's 5 to 7 (consec) form a group.*

The house is reported to have been occupied for much of the 19th century by professionals and merchant families. Coventry's Reform Club was founded in 1883, and first occupied No.8 Warwick Row which was later purchased for the Congregational Chapel. The club moved to No.5 in 1889 until disbanded in 1972. The building was extended at the rear and is now used as student accommodation.

## 5.2 Context and Visual Setting

The Reform Club sits on the main route north from the Coventry railway station and connects with Hertford Street, both long-standing parts of the urban grain of historic Coventry.

Visually, the building is surrounded by similarly-scaled three to four storey buildings, predominantly red brick on the same side, and white-painted neo Georgian on the opposite side.

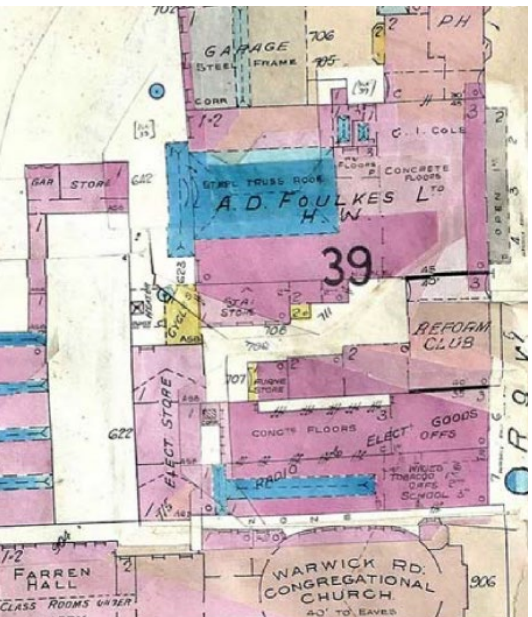
Despite the generally low-scaled buildings, there is a subtle rise in storey height when viewing the terrace from the south (see right).



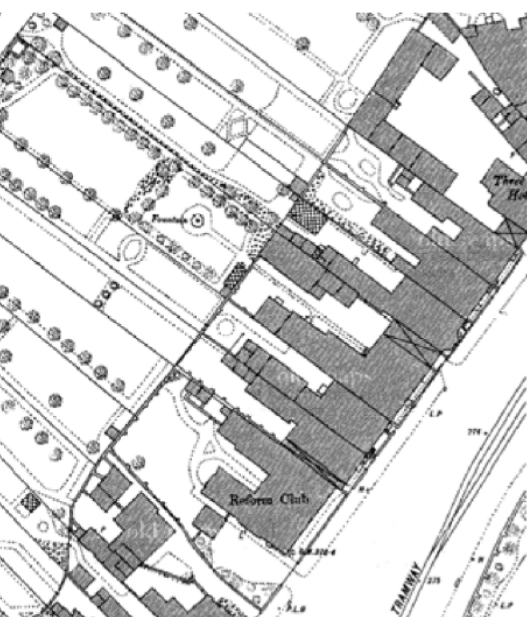
The Reform Club c.1900



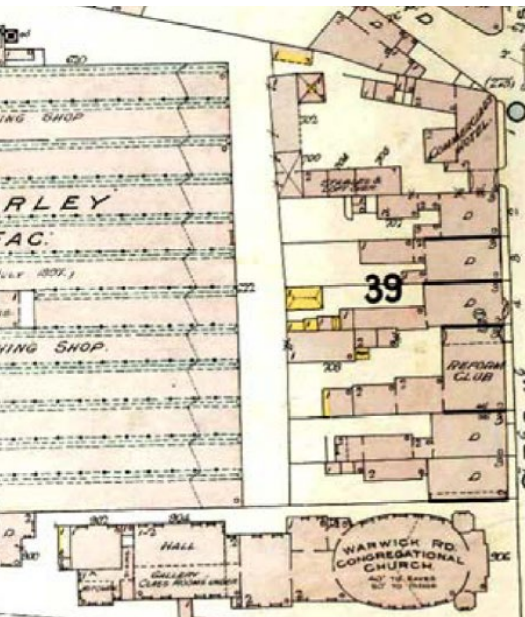
OS Survey 1961



Goad Insurance Plan 1959



OS Survey 1888



Goad Insurance Plan 1897



# Block C - Existing Context

## 5.3 Design and Materials

The Reform Club (albeit the main front facade) uses a simple palette of materials:

- Red brick
- White-painted timber joinery windows and concrete columns
- Slate roof
- Lead flashings



Aerial Image (Google Earth)



The building today

Coventry City Centre South



Allies and Morrison



The Reform Club Front Facade



# Design Guide - Principles

## Block C Description

The Land Uses Parameter Plans allow for residential and/or hotel use to be brought forward in Block C, with an active frontage maintained at ground level comprising mixed uses such as retail and leisure.

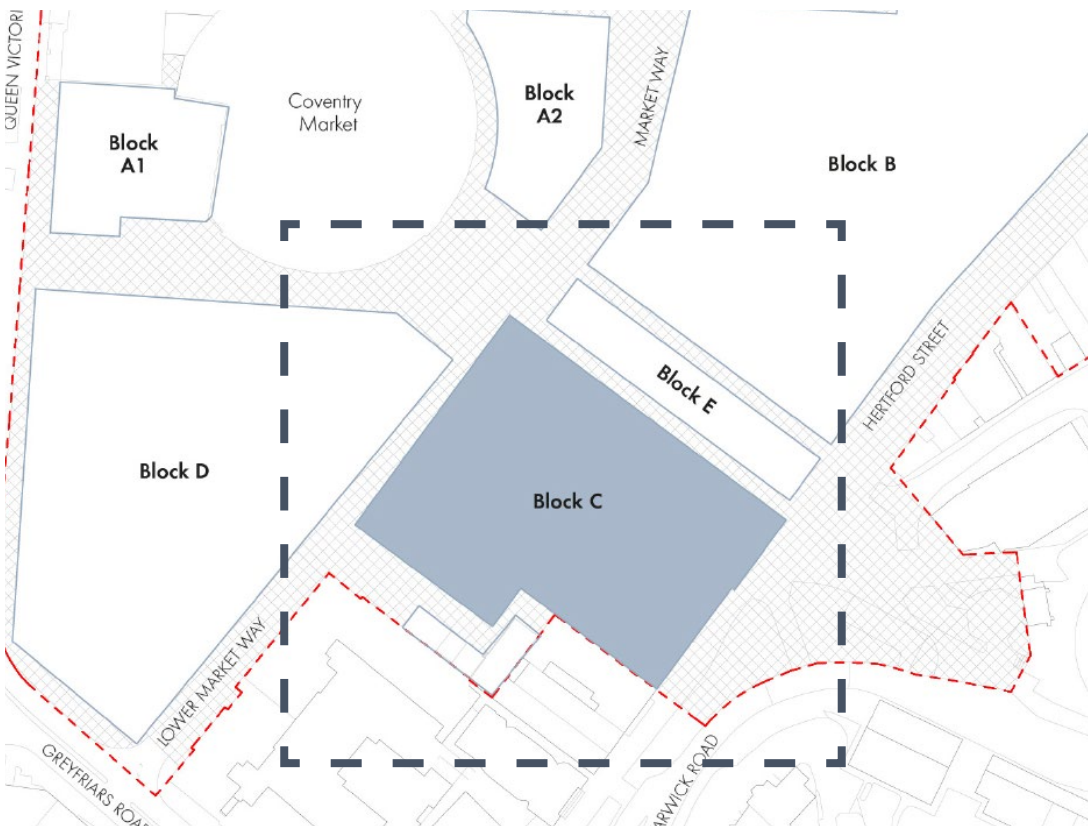
### 5.4 Block C - Specific Development Principles

#### MANDATORY

- A. The massing of the building (the south eastern part of the block) **must** show a north-south upward transition in building heights, from the lower proportion of the Reform Club up towards the new public square.
- B. The vertical proportions of the building **must** relate well to principles of scale and proportion in Warwick Row elevation of the Reform Club, including window and roof form.
- C. The selection of materials and form **must** avoid a pastiche replication of the Reform Club and be authentic to the sitewide design principles.

#### RECOMMENDED

- D. The use of contemporary brick on the Warwick Row elevation **should** be considered, to complement the elevational treatment of the Reform Club.
- E. The selection of materials **should** demonstrate a relationship with the material palette of the Reform Club, which can be a sympathetic derivation of its Georgian brick façade and roofscape or a contemporary interpretation.
- F. The use of punched openings in the fenestration of the Warwick Row elevation of Block C **should** be incorporated.

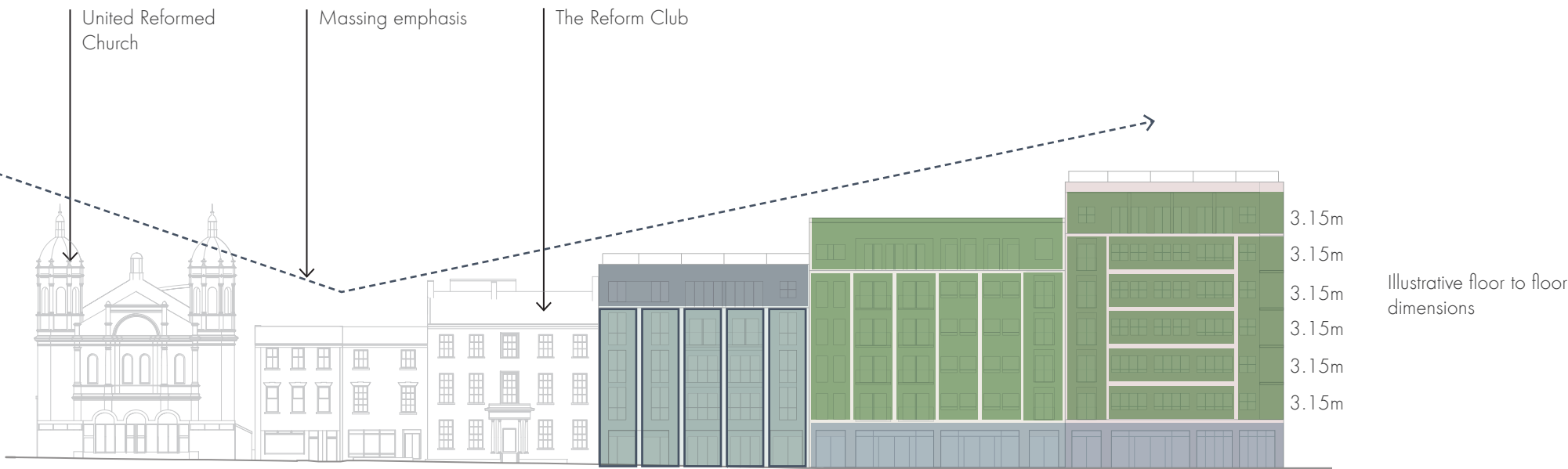


Block C Location

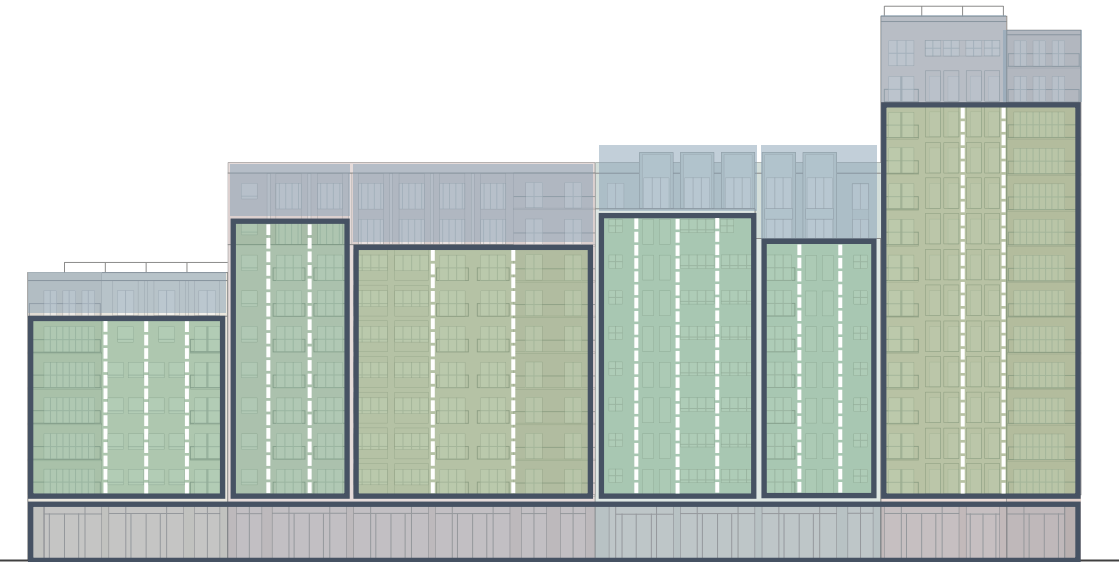




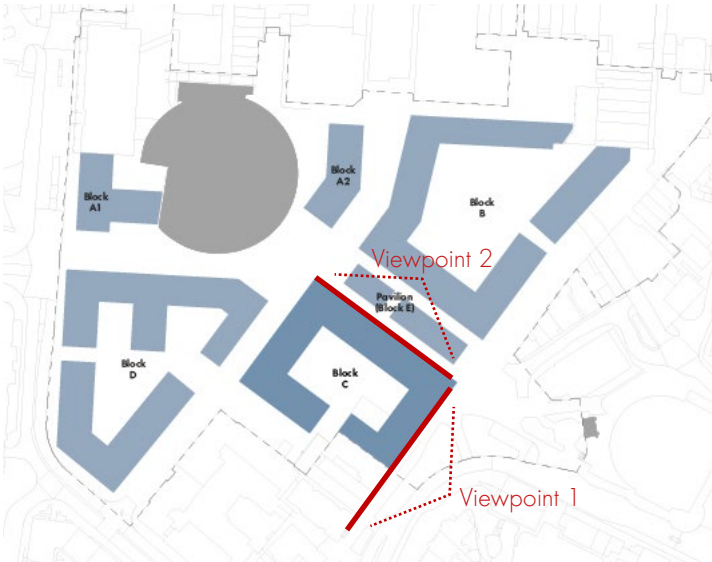
# Design Guide - Illustrative Massing Within Parameters



1 Illustrative east elevation along Warwick Row



2 Illustrative north elevation (not to same scale as above)



Illustrative Plan Highlighting Block C Elevations

# Design Guide - Precedent and Materials

## 5.5 Precedent Imagery for Block C

These images illustrate successful interpretations of a typical 3-5 storey townhouse aesthetic, or successful adjacency between contemporary and traditional elevational treatment.

The images illustrate that the materials can be of a different texture, course or colour and yet still be a successful and complementary addition to the streetscape.

These are not prescriptive guides to be copied, but are good examples of where design cues have been used to complement the existing building.



**Gallery and apartment building, Studio Mackereth**  
Note the interim metal panelled facade, providing a buffer for the overhanging cornice detail. Note the contemporary interpretation of a mansard roof detail, and the diminishing proportions of the windows.



**Nygaard Square, Mad Arkitekter**  
Note the subtle, four alternating brick varieties, which creates an interesting yet soft facade.



**Curtain Road, Morris & Co**  
A change of material to demarcate the final floors of the building



**Cryfield Village, Warwick, RHP**  
Note the variance in fenestration between floors, designed to identify the studio apartments as a different type to the smaller rooms on the floors above.



**Westbourne Park, Allies and Morrison**  
Note the contrast of the brick colour and the contemporary nature of the facade with a difference in fenestration approach to its adjacent facades.



**ESB Headquarters, Grafton Architects**  
Note the set back brick facade at the final level, restrained use of materials and simplified Georgian proportions.





# 6.0

## Block D and E (Pavilion)

- 6.1 Block D - Specific Development Principles
- 6.2 Block D Parameter Plans
- 6.3 Block E (Pavilion) - Specific Development Principles



# Block D - Massing

## 6.1 Block D - Specific Development Principles

**MANDATORY**

A.

There **must** be a gradual transition of three heights from the taller element of Block D on Rover Road towards the lower element of Block D on Greyfriars Road.

B.

The location of the change in building heights **must** contribute positively to the skyline and must not be delivered as one large flat-roofed block.

C.

The stepping down **must** frame the long-range view of Christ Church Spire from the Butts.

D.

The elevational treatment of the ground floor of Block D **must** positively address Queen Victoria Road and avoid being a blank façade.

E.

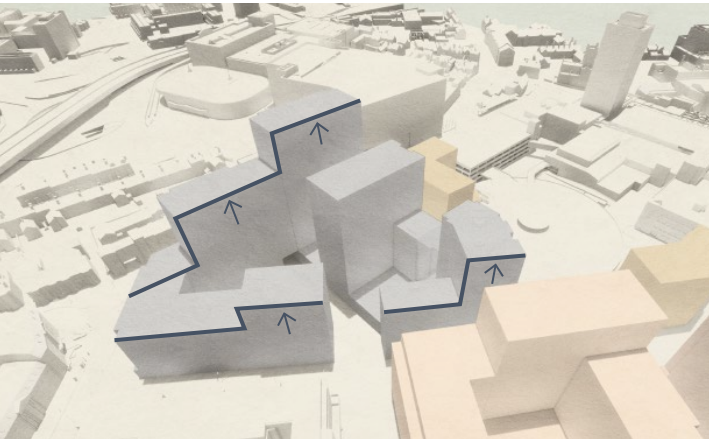
The urban block **must** contain a central space or courtyard.

F.

The block **must** be a positive urban mass. i.e. There must be a blend of articulation in the facades and well considered elevational design.

G.

Must conform to active edge requirements, so parking podiums at ground floor **must** not be placed where an active edge is required.



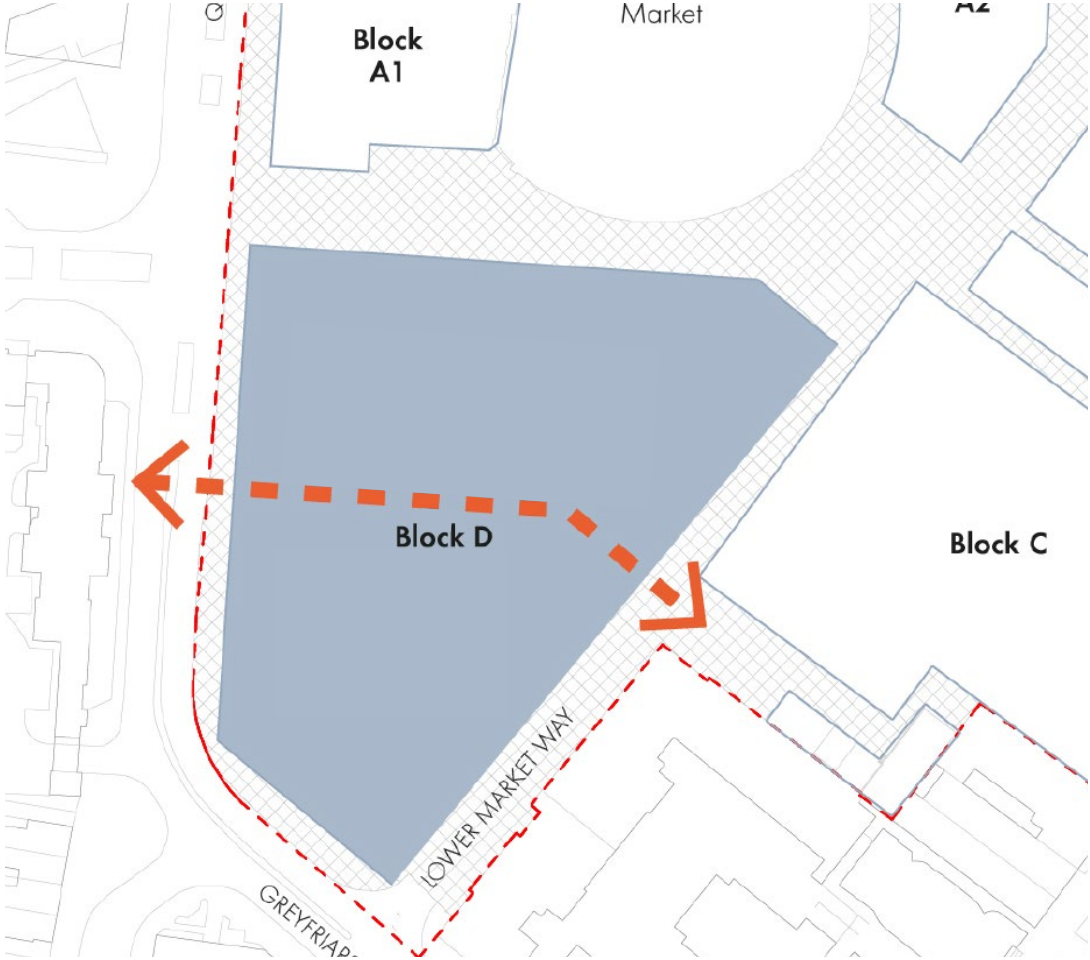
Aerial CGI showing illustrative stepping of Block D

## 6.2 Block D Parameter Plans

The massing of Block D within the parameter plans is a single block, intended to be carved into discrete elements during design development at reserved matters stage. The Illustrative design shown is one potential solution but there may be others.

The diagram opposite and the mandatory stipulations describe the recommended breaks in the massing. These are not exhaustive solutions, and it would be recommended that these are exceeded.

Breaks in the massing could be achieved with full or partial height openings, changes to the façade articulation and careful placement of private amenity space.



Illustrative massing example

Key

Break in the block massing

# Block E (Pavilion) - Positioning

## Block E (Pavilion) - Description

The parameter plans for the block E dictate a small scale pavilion building. Potential uses include retail and food and drink units facing the public square, and retail.

## 6.3 Block E (Pavilion) - Specific Development Principles

**MANDATORY**

A.

The active frontage of the Pavilion **must** primarily address the public realm.

B.

The Pavilion **must** be no more than two occupied floors (i.e. ground floor and first floor) with a pitched roof (or other appropriate form other than flat). This maximum height for this arrangement is specified in the Parameter Plans Document.

C.

The pavilion **must** enable ease of movement between the active frontages of Blocks B & C.

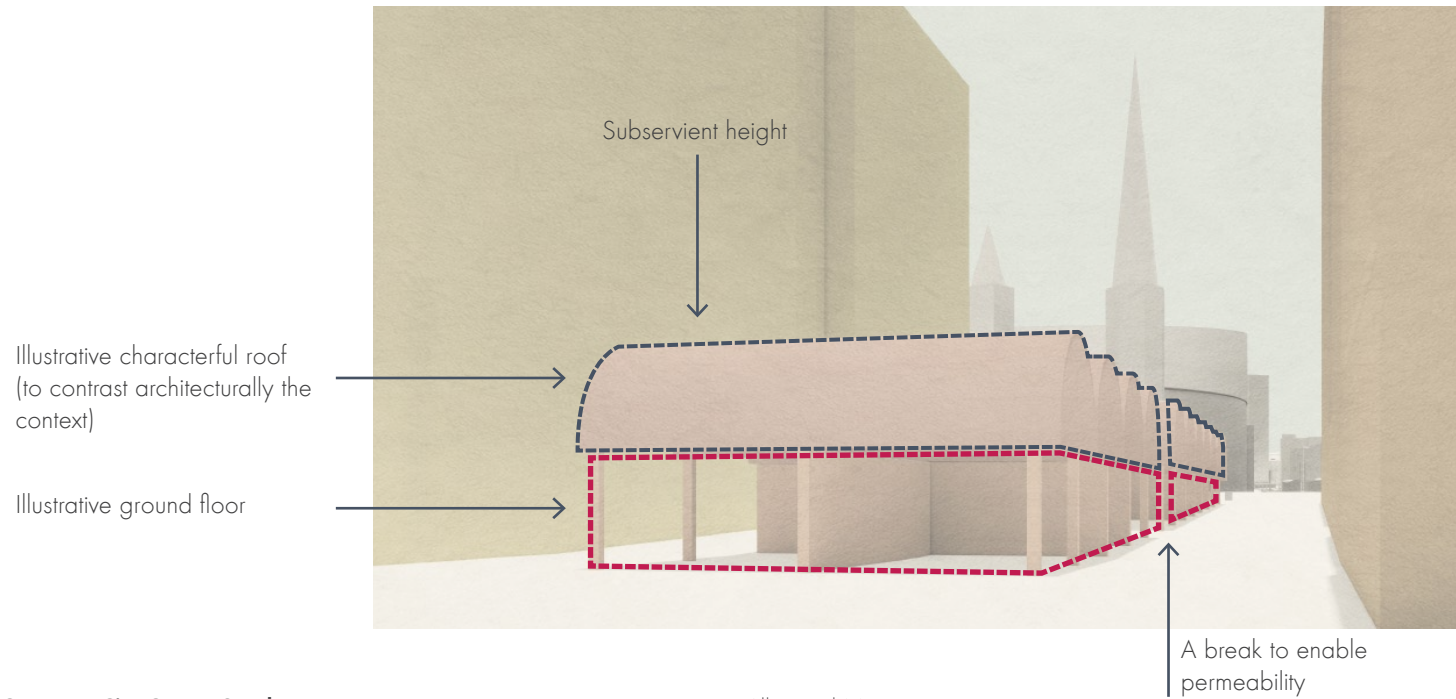
**RECOMMENDED**

D.

The roofscape of the Pavilion **should** be distinctive, break up the mass of the building recognising that it is viewed from apartments above.

E.

The Pavilion **should** be located equidistant from adjacent Blocks B and C.



## Characteristics of The Pavilion

**Subservient Height**

Subservient Height

Height comparable to context

**Contrasts architecturally to the context**

Architecturally contrasting to the context

Architecturally mirroring the context

**Permeability**

Shortened length enables permeability

Single sided block impeding permeability

**Pavilion in a landscape**

Object in a landscape

Object with landscaping





